

# PARCO MARE APARTMENT PROJECT



## SITE PLAN REVISION

ORIGINAL SUBMITTAL AUGUST 2014

UPDATED PER STAFF COMMENTS SEPTEMBER 2014 / FINAL OCTOBER 2014

The following package illustrates the comparison between the previously approval plans and updated refinements to the floor plans and elevations. This Package includes Architecture, Landscape Architecture and Civil Engineering Drawings

480 EAST DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33004

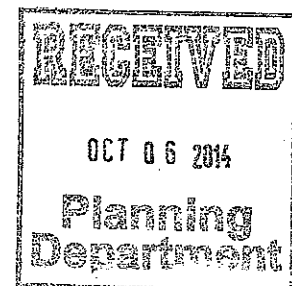


**BERMELLO AJAMIL & PARTNERS INC**  
Architecture Engineering Planning Interior  
Design Landscape Architecture  
1 EAST BROWARD BLVD, SUITE 800  
FORT LAUDERDALE, FL 33301  
Phone: (954) 467-1113 Fax: (954) 467-1116  
c/o: 2700 WILSON BLVD SUITE 2000 FORT LAUDERDALE, FL 33311

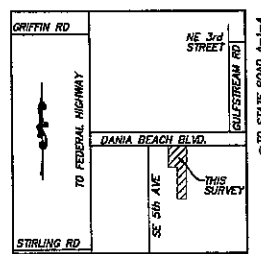


**RILEA GROUP**  
1800 BRICKELL AVENUE, SUITE 1015  
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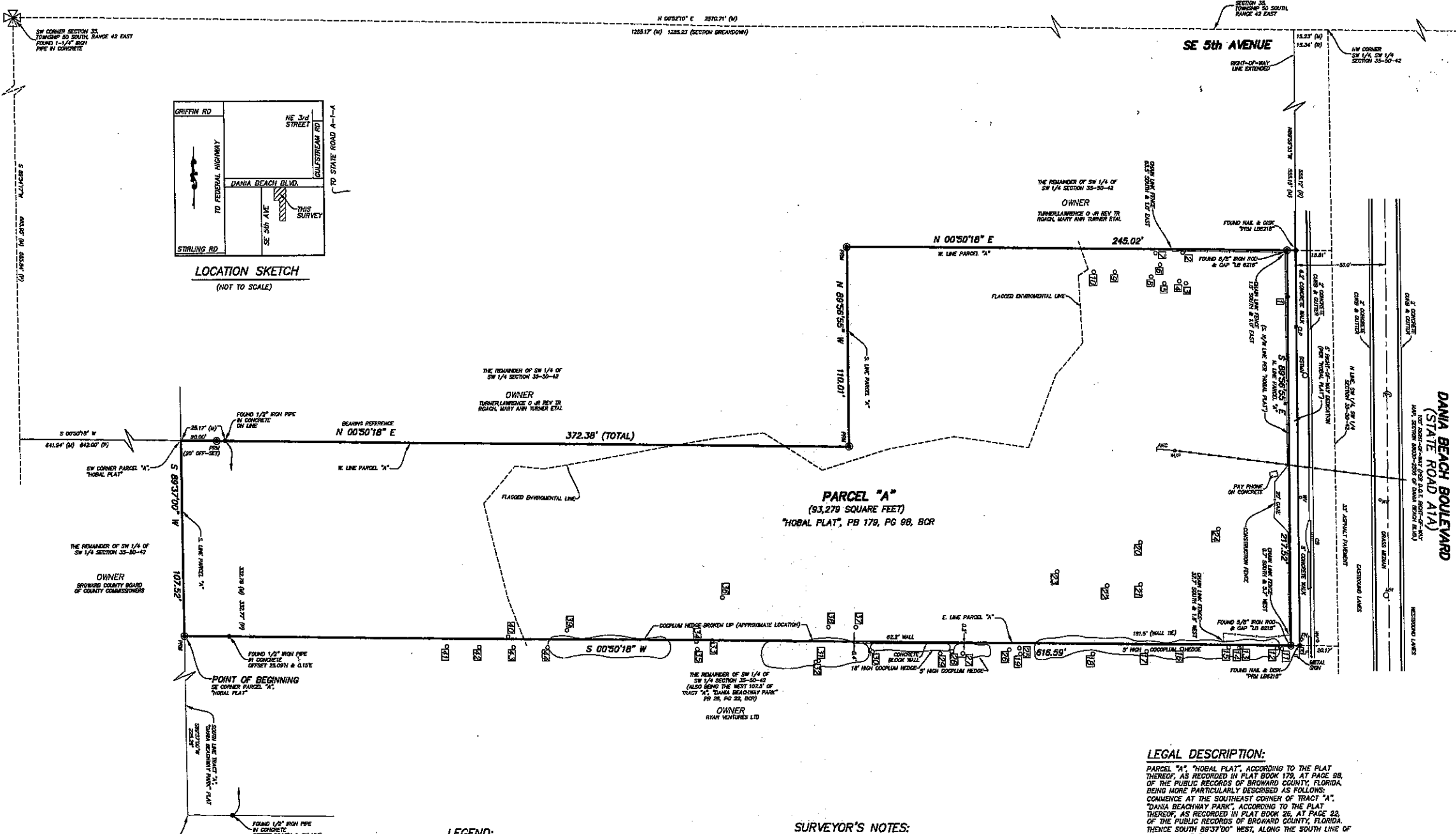
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	COVER SHEET / DRAWING INDEX
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A-4.0A	UPDATED FIRE LANE AND TRUCK ROUTE
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FP2	FIRE PROTECTION PLANS
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SCALE: 1 inch = 30 feet



LOCATION SKETCH  
(NOT TO SCALE)



NOTE: CANOPY DIAMETER GIVEN

TREE No.	TYPE OF TREE	TRUNK	HEIGHT	CANOPY
1	SABAL PALM	12"	10'	12'
2	AUSTRALIAN PINE	7"	25'	10'
3	AUSTRALIAN PINE	4"	20'	8'
4	AUSTRALIAN PINE	5"	30'	10'
5	AUSTRALIAN PINE	14"	35'	20'
6	AUSTRALIAN PINE	12"	50'	25'
7	AUSTRALIAN PINE	15"	35'	20'
8	AUSTRALIAN PINE	4"	30'	8'
9	AUSTRALIAN PINE	24"	80'	50'
10	AUSTRALIAN PINE	16"	60'	30'
11	MADAGASCAR OLIVE	9"	5'	10'
12	COCO PLUM HEDGE N. END	10' WIDE	5'	10'
13	ARECA PALM	3"	20'	10'
14	ARECA PALM	3"	15'	9'
15	ARECA PALM	3"	13'	9'
16	ARECA PALM	4"	24'	10'
17	MADAGASCAR OLIVE	9"	17'	14'
18	SEAGRAPE	12"	28'	30'
19	WEeping TAMARIND	24"	24'	14'
20	ARECA PALM	4"	20'	8'
21	PANICLE HYDRANGEA CLUSTER	4' WIDE	7'	7'
22	PANICLE HYDRANGEA CLUSTER	4' WIDE	12'	10'
23	HEDGE CACTUS CLUSTER	4' WIDE	23'	6'
24	ARECA PALM CLUSTER	6' WIDE	15'	14'
25	SABAL PALM	12"	5'	10'
26	SABAL PALM	12"	9'	10'
27	SABAL PALM	7"	21'	10'
28	SABAL PALM	9"	25'	10'
29	SABAL PALM	8"	24'	10'
30	ARECA PALM CLUSTER	6' WIDE	18'	15'
31	ARECA PALM	2"	5'	6'
32	ARECA PALM	3"	7'	8'
33	STRANGLER FIG	5"	18'	8'
34	SCHEFFLER	4"	21'	6'
35	WEeping TAMARIND	24"	22'	24'
36	MANGO - LEANING FROM STORM	18"	20'	20'
37	BANANA TREE CLUSTER N. END	6' WIDE	8'	10'
38	BANANA TREE CLUSTER S. END	6' WIDE	8'	10'
39	ARECA PALM CLUSTER	3' WIDE	16'	8'
40	AUSTRALIAN PINE	3"	15'	8'
41	MADAGASCAR OLIVE	3"	7'	5'
42	MADAGASCAR OLIVE	3"	9'	7'
43	MADAGASCAR OLIVE	2"	5'	3'
44	MADAGASCAR OLIVE	2"	6'	4'

**LEGAL DESCRIPTION:**

PARCEL "A", "HOBAL PLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 178, AT PAGE 88 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF TRACT "A", "DANIA BEACHWAY PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 26, AT PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THENCE SOUTH 89°37'00" WEST, ALONG THE SOUTH LINE OF SAID TRACT "A", A DISTANCE OF 228.28 FEET, TO THE POINT OF BEGINNING, ALSO BEING THE SOUTHWEST CORNER OF SAID PARCEL "A", THENCE CONTINUE SOUTH 89°37'00" WEST, ALONG THE SOUTH LINE OF SAID PARCEL "A", A DISTANCE OF 107.52 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL "A", THENCE NORTH 00°50'18" EAST, ALONG THE WEST LINE OF SAID PARCEL "A", A DISTANCE OF 245.02 FEET, THENCE NORTH 00°50'18" WEST, ALONG THE SOUTH LINE OF SAID PARCEL "A", A DISTANCE OF 110.01 FEET, THENCE NORTH 00°50'18" EAST, ALONG THE WEST LINE OF SAID PARCEL "A", A DISTANCE OF 245.02 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF DANIA BEACH BOULEVARD AS SHOWN ON SAID "HOBAL PLAT", THENCE SOUTH 89°56'55" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, ALSO BEING THE NORTH LINE OF SAID PARCEL "A", A DISTANCE OF 217.52 FEET, THENCE SOUTH 00°50'18" WEST, ALONG THE EAST LINE OF SAID PARCEL "A", A DISTANCE OF 616.59 FEET TO THE POINT OF BEGINNING. SAID LANDS SITUATE, LING AND BEING IN THE CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA AND CONTAINING 93,279 SQUARE FEET OR 2.141 ACRES, MORE OR LESS.

**SURVEYOR'S NOTES:**

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THIS SURVEY REFLECTS ALL MATTERS OF RECORD SHOWN ON SEARCH NUMBER 08-801-27 PREPARED BY PARAMOUNT TITLE SERVICES, INC. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD BY RADUIS PROFESSIONAL SURVEYOR & MAPPER, LLC.
- BEARINGS SHOWN HEREON ARE BASED THE WEST LINE OF "HOBAL PLAT" - BEARING N00°50'18"E.
- UNDERGROUND FOUNDATIONS AND INSTALLATIONS WERE NOT LOCATED. ONLY SURFACE EVIDENCE OF SUBTERRANEAN USE IS SHOWN WHEN VISIBLE.
- THE LAND DESCRIPTION SHOWN HEREON WAS PREPARED FROM THE RECORD PLAT; THE "HOBAL PLAT" DESCRIPTION WAS USED AND MODIFIED TO LESS OUT THE 5 FOOT RIGHT-OF-WAY DEDICATION TO CREATE A DESCRIPTION OF PARCEL "A" OF SAID PLAT.

**LEGEND:**

- (with cross) = TREE LOCATION AND DESIGNATION (SEE CHART)
- ⊙ = PERMANENT REFERENCE MONUMENT FOUND NAIL & DISC "PRM LB6218" IN 4"x4" CONCRETE MONUMENT (UNLESS OTHERWISE SHOWN)
- BSTMH = BELLSOUTH TELEPHONE MANHOLE
- R/W = RIGHT-OF-WAY
- BCR = BROWARD COUNTY RECORDS
- ORB = OFFICIAL RECORD BOOK
- CLP = CONCRETE LIGHT POLE
- MUP = WOOD UTILITY POLE
- ANC = ANCHOR
- OHW = OVER HEAD WIRES
- EW = EDGE OF WATER
- TOW = TOP OF WATER
- PG = PAGE
- PB = PLAT BOOK
- CS = CATCH BASIN
- WV = WATER VALVE
- FH = FIRE HYDRANT
- MH = MANHOLE
- (P) = CALCULATED FROM PLAT
- (M) = MEASURED INDIRECTLY FROM FIELD TRAVERSE OR CALCULATED
- (R) = RECORDED ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP
- ℄ = CENTERLINE

**NATIONAL FLOOD INSURANCE PROGRAM**

COMMUNITY PANEL No.: 120034 0309 F  
 F.I.R.M. INDEX DATE: 10-2-97  
 EFFECTIVE DATE: 8-18-92  
 ZONE: AE  
 BASE ELEVATION: 6.0

**SURVEYOR'S CERTIFICATE:**

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 53-17.051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 478-027, FLORIDA STATUTES.

DATE SIGNED: 8-4-14  
 LAST DATE IN FIELD: 2-15-12

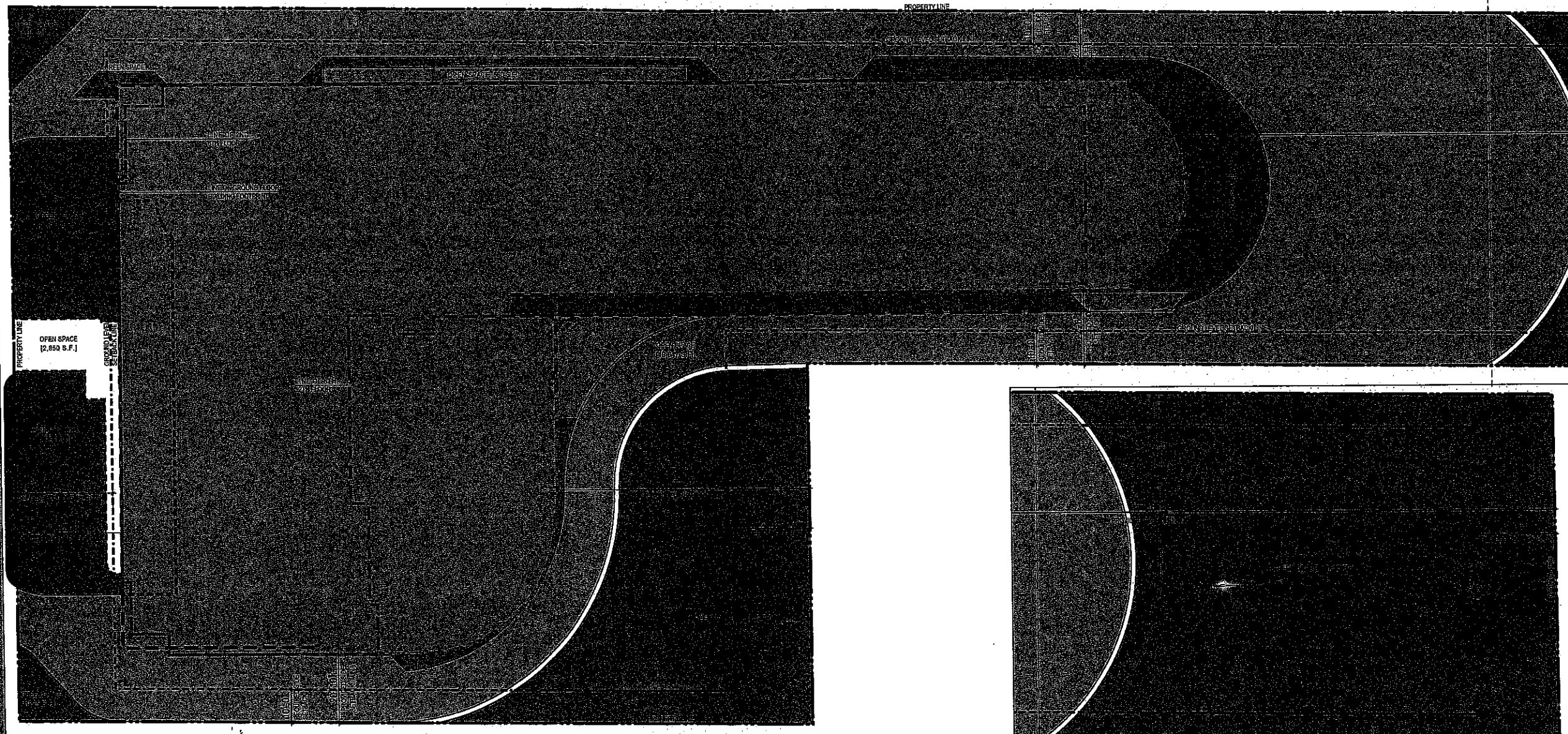
MICHAEL D. KLUMKIEWICZ  
 FLORIDA REGISTERED SURVEYOR & MAPPER  
 REGISTRATION NUMBER LS6611

**Raduis**  
 PROFESSIONAL SURVEYOR & MAPPER, LLC  
 30 PINEHURST LANE  
 BOCA RATON, FL 33433  
 (561)344-1133 (561)344-0266  
 LICENSED BUSINESS NO. 107733

REVISION	PB/PG	DWN	DATE	CHK
BOUNDARY SURVEY	SKETCH	MM	2-15-12	MDX

**BOUNDARY SURVEY**  
 PARCEL "A" of "HOBAL PLAT"  
 A PORTION OF SW 1/4 SECTION 35-50-42  
 DANIA BEACH, BROWARD COUNTY, FLORIDA

SCALE: 1"=30'  
 DRAWN BY: MM  
 SHEET NO. 1 of 1  
 PROJECT NO. 12262



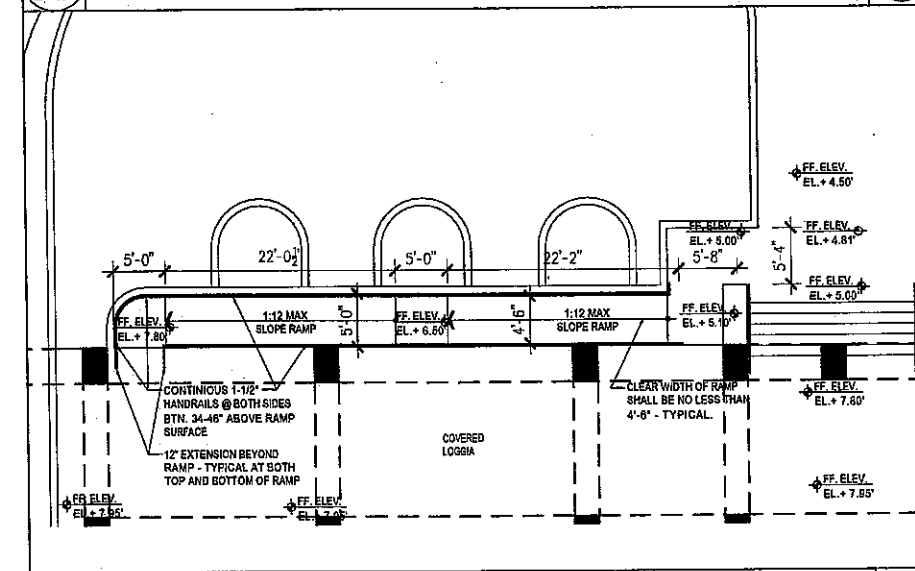
**1 PARTIAL ZONING SITE PLAN**  
 D-00 SCALE: 1/16" = 1'-0"

**3 PARTIAL ZONING SITE PLAN [SOUTH END]**  
 D-00 SCALE: 1/16" = 1'-0"

DIAGRAM LEGEND	
GROUND FLOOR LANDSCAPE / GREEN SPACE	[Symbol]
GROUND FLOOR OPEN SPACE	[Symbol]
GROUND FLOOR - BUILDING FOOTPRINT	[Symbol]
GROUND FLOOR - ARCADE / COVERED LOGGIA	[Symbol]
UPPER LEVEL (2TH - 6TH) - BUILDING FOOTPRINT	[Symbol]
UPPER LEVEL (6TH - 12TH) - BUILDING FOOTPRINT	[Symbol]
PROPERTY LINE	[Symbol]
GROUND FLOOR SETBACK LINE	[Symbol]

PROJECT CRITERIA		
ZONING	PROPOSED	
ZONING DISTRICT:	[GTWY-MU] BEACH GATEWAY MIXED-USE DISTRICT	
PERMITTED USE:	RESIDENTIAL APARTMENTS	
FIRST FLOOR:	PUBLIC AREA, LOBBY, SERVICES AND PARKING	
PARKING GARAGE:	[2ND - 4TH] 3 LEVELS ABOVE GROUND FLOOR	
APARTMENT LEVELS:	[6ND - 12TH] 6 LEVELS ABOVE PARKING LEVELS	
TOTAL LEVELS:	12 LEVELS (SEE BONUS CALCULATION)	
TOTAL HEIGHT:	123 ABOVE GROUND LEVEL (AS REQUIRED BY FAA)	
AREA CALCULATIONS	PROPOSED	
PROPERTY AREA:	93,280 S.F. (2.141 ACRES)	
GROUND FLOOR BUILDING FOOTPRINT:	35,611 S.F. (X.00X ACRES) [38.0% OF PROPERTY]	
GROUND FLOOR LANDSCAPE / GREEN SPACE:	35,012 S.F. (X.00X ACRES) [37.8% OF PROPERTY]	
GROUND FLOOR OPEN SPACE:	22,787 S.F. (0.522 ACRES) [24.3% OF PROPERTY]	
DWELLING UNIT CALCULATIONS		
GROSS PROPERTY (TO CL OF ROAD):	105,244 S.F.	
TOTAL DU / ACRES ALLOWED FOR DISTRICT:	75 (WITH DENSITY BONUS)	
TOTAL DU ALLOWED:	181	
TOTAL DU PROVIDED:	181 (SEE BONUS CALCULATIONS)	
BONUS CALCULATIONS	DU/ACRE	STORIES
"BY RIGHT":	35	07
BONUS 305-50		
"SUSTAINABLE BUILDING PRACTICES":	28	04
BONUS 305-80		
"PROVIDE PUBLIC PARKING":	12	01
TOTAL:	76	12
FAR CALCULATIONS	ALLOWED	PROPOSED
PROPERTY:	93,280 S.F.	
FAR MAX: 8 X 93,280 S.F.	746,240 S.F.	356,677 S.F. (48%)

PROJECT CRITERIA				
PROGRAM AREAS				
TOTAL RESIDENTIAL UNITS:	151 UNITS (93 1BR, 118 2BR)			
TOTAL GROSS RESIDENTIAL AREA:	212,125 G.S.F.			
PARKING GARAGE AREA:	145,230 G.S.F.			
TOTAL PROJECT AREA:	357,355 G.S.F.			
LOWER LEVEL SETBACKS	REQUIRED	PROPOSED	VARIA	WAVE
SETBACK FROM DANIA BEACH BOULEVARD:	30'-8" FROM PL.	32'-9"	NO	
(WEST) SIDE SETBACK MIN:	10'-0"	20'-10"	NO	
(EAST) SIDE SETBACK MIN:	10'-0"	20'-5"	NO	
(SOUTHWEST) REAR SETBACK MIN:	25'-0"	77'-5"	NO	
(SOUTH) REAR SETBACK MIN:	25'-0"	253'-0"	NO	
UPPER LEVEL SETBACKS	REQUIRED	PROPOSED	VARIA	WAVE
UPPER SETBACK FROM DANIA BEACH BOULEVARD:	"N/A	SAME AS	NO	
"NOTE THAT THE REQUIREMENT FOR UPPER LEVEL SETBACKS WITHIN THE 2:1 ANGLED LINE MEASURED FROM THE PROPERTY LINE IS ONLY APPLICABLE FOR PROPERTIES ADJACENT TO RESIDENTIAL ZONING BOUNDARIES (WHICH THIS PROJECT IS NOT)		LOWER LEVEL		
		SETBACKS		
PARKING CALCULATION	REQUIRED	PROPOSED		
83 1 BR	1.26 X NUMBER OF 1 BEDROOMS	70		
118 2 BR	1.75 X NUMBER OF 2 BEDROOMS	207		
SUBTOTAL		278		
QUEST	1 PER 5 UNITS OVER 10 (161-1015)	34		
REQUIRED		320	320	
LOADING	REQUIRED	PROPOSED		
LOADING BERTHS	01	01 SERVICE LOADING AREA 01 MOVE-IN LOADING AREA		



**4 ENLARGED ADA HC RAMP AT MAIN ENTRY**  
 D-00 SCALE: 1/8" = 1'-0"

**2 PROJECT DATA / ZONING CRITERIA**  
 D-00 SCALE: N.T.S.

**OWNERSHIP**

**RILEA GROUP**  
 1000 BRICKELL AVENUE, SUITE 1015  
 MIAMI, FL 33131  
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**ARCHITECTURE / PLANNING**

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 Architecture Engineering Planning Interior Design Landscape Architecture  
 1 EAST BROWARD BLVD, SUITE 800  
 FORT LAUDERDALE, FL 33301  
 Phone: (954) 457-1115 Fax: (954) 457-1118  
 CDTL #AP000000000000000000 FLORIDA STATE BOARD OF ARCHITECTURE

**LANDSCAPE ARCHITECTURE**

**MARIANO CORRAL**  
 LANDSCAPE ARCHITECT  
 300 E SW 10TH COURT  
 MIAMI, FLORIDA 33135  
 Phone: (305) 551-1262 Fax: (305) 553-2068

**CIVIL ENGINEERING**

**SUN-TECH ENGINEERING, INC.**  
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 1500 WEST OAKLAND PARK BOULEVARD  
 FORT LAUDERDALE, FL 33311  
 Phone: (954) 777-3123 FAX: (954) 777-3114  
 Certificate of Auth. # 7897

**PHOTO-METRICS**

**sesco lighting**  
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 ORLANDO, FL (407) 226-1111 / MIAMI, FL (305) 553-2068  
 www.sesco-lighting.com

**TODD D. OSBORN, R.A.**  
 FL ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
 AUGUST 2014

REVISIONS:

PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
 485 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33429

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**PREVIOUSLY APPROVED ZONING PLAN AND PROJECT CRITERIA SHEET NO. G-0.0**



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ARCHITECTURE / PLANNING



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Phone: (954) 467-1113 Fax: (954) 467-1114  
CITY OF APPROVATION #2008 FL ARCH. REG. #44022812

LANDSCAPE ARCHITECTURE



**MARIANO CORRAL**  
LANDSCAPE ARCHITECT  
3001 SW 109TH COURT  
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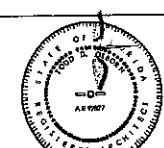
CIVIL ENGINEERING



**SUN-TECH ENGINEERING, INC.**  
ENGINEERS, PLANNERS, SURVEYORS  
1600 WEST OAKLAND PARK BOULEVARD  
FORT LAUDERDALE, FL 33311  
Phone: (954) 777-3125 FAX: (954) 777-3114  
Certificate of Auth. # 1297

PHOTO-METRICS

WEAKING # OUT OF JURISDICTION  
ALAN L. WEAKING, P.E., P.L.L.C.  
1400 SW 15TH AVENUE, SUITE 1000  
FORT LAUDERDALE, FLORIDA 33304  
www.alanweaking.com



TODD D. OSBORN, P.A.  
FL ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
UPDATED PER DRC OCT. 2014

REVISIONS:

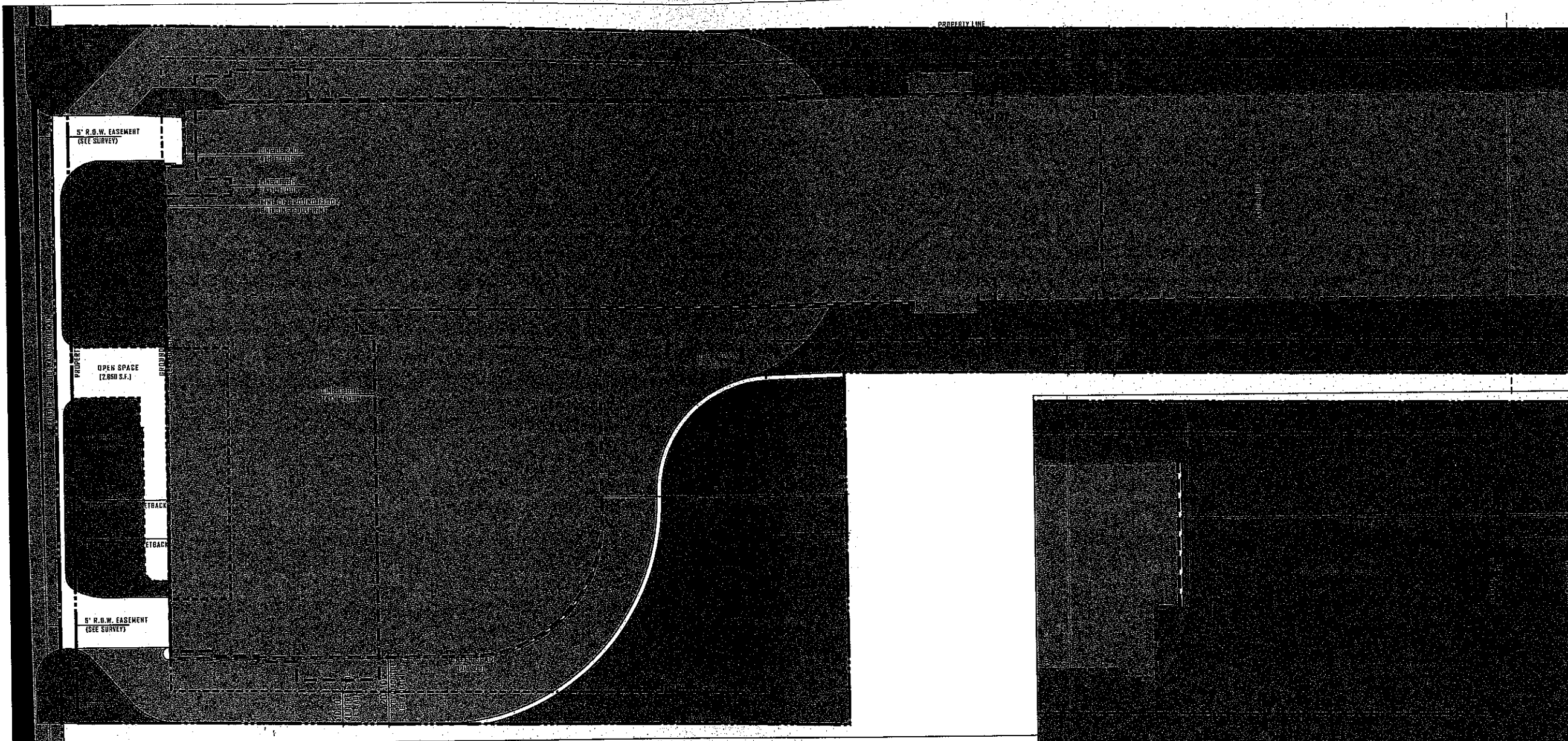
PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
4000 DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33024

SCALE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**UPDATED ZONING PLAN AND PROJECT CRITERIA**

SHEET NO. **G-0.0A**



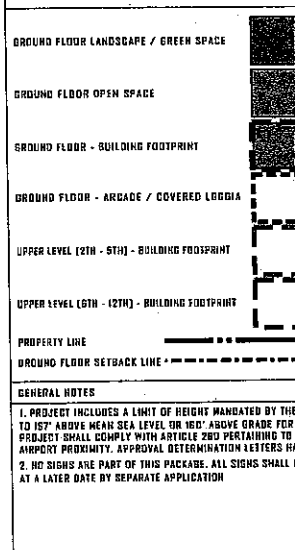
**1 PARTIAL ZONING SITE PLAN**

D-0.0A

**3 PARTIAL ZONING SITE PLAN [SOUTH END]**

D-0.0A

**DIAGRAM LEGEND**



**PROJECT CRITERIA**

<b>ZONING</b>	<b>PROPOSED</b>
ZONING DISTRICT:	(R)TY-1(M) BEACH GATEWAY MIXED-USE DISTRICT
PERMITTED USE:	RESIDENTIAL APARTMENTS
FIRST FLOOR:	PUBLIC AREA, LOBBY, SERVICES AND PARKING
PARKING GARAGE:	(2ND - 4TH) 3 LEVELS ABOVE GROUND FLOOR
APARTMENT LEVELS:	(5TH - 14TH) 10 LEVELS ABOVE PARKING LEVELS
TOTAL LEVELS:	14 LEVELS (SEE BONUS CALCULATION)
TOTAL HEIGHT:	155' ABOVE GROUND LEVEL (IGD' IS FAA LIMIT)
<b>AREA CALCULATIONS</b>	<b>PROPOSED</b>
PROPERTY AREA:	88,280 S.F. (2.04 ACRES)
GROUND FLOOR BUILDING FOOTPRINT:	44,851 S.F. (1.012 ACRES) (47.2% OF PROPERTY)
PREVIOUS LANDSCAPED AREAS:	35,545 S.F. (0.815 ACRES) (39.9% OF PROPERTY)
NON-PERVIOUS AREAS:	13,544 S.F. (0.313 ACRES) (14.6% OF PROPERTY)
<b>DWELLING UNIT CALCULATIONS</b>	
GROSS PROPERTY (TO CL OF ROAD):	105,244 S.F. (2.4057 ACRES)
TOTAL DU / ACRES ALLOWED FOR DISTRICT:	100 (WITH DENSITY BONUSES)
TOTAL DU ALLOWED:	241
TOTAL DU PROVIDED:	237 (SEE BONUS CALCULATIONS)
<b>BONUS CALCULATIONS</b>	<b>DU/ACRE</b> <b>STORIES</b>
"BY RIGHT":	50                      07
BONUS 305-50 "SUSTAINABLE BUILDINGS":	28                      04
BONUS 305-50 "PUBLIC PARKING":	05                      01
BONUS 305-70 "PUBLIC PARK INCENTIVE":	30                      02
TOTAL:	100 Max Allowed      14
<b>FAR CALCULATIONS</b>	<b>ALLOWED</b> <b>PROPOSED</b>
PROPERTY:	95,250 S.F.
FAR MAX: 5 X 93,250 S.F.	225,174 S.F. (20.2%)

**PROJECT CRITERIA**

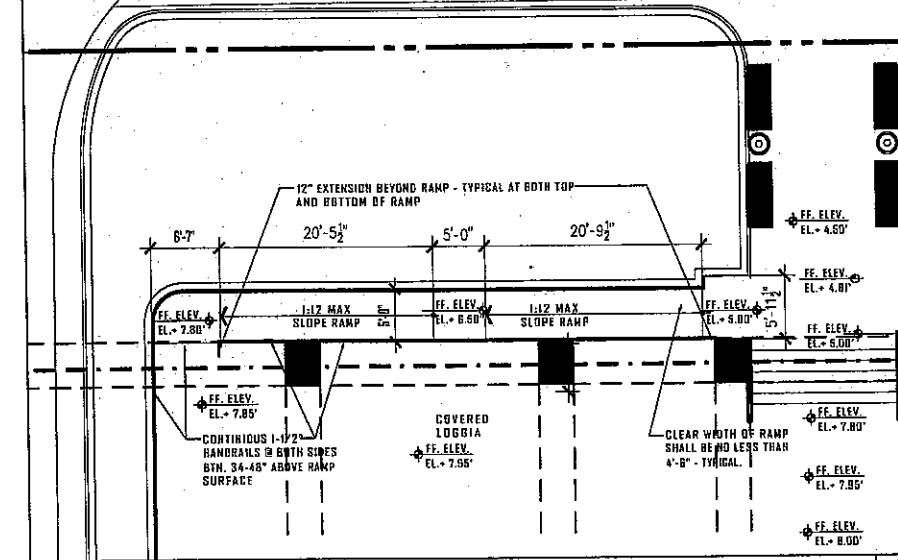
<b>PROGRAM AREAS</b>			
TOTAL RESIDENTIAL UNITS:	237 UNITS (65 STUDIOS, 79 1BR, 100 2BR, 78 3BR)		
TOTAL GROSS RESIDENTIAL AREA:	275,794 S.S.F.		
PARKING GARAGE AREA:	176,441 S.S.F.		
TOTAL PROJECT AREA:	452,235 S.S.F.		
<b>LOWER LEVEL SETBACKS</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	<b>VARIANCE</b>
SETBACK FROM DANIA BEACH BOULEVARD:	30'-0" FROM PL	30'-2"	N D
(WEST) SIDE SETBACK MIN.:	10'-0"	20'-10"	N D
(SOUTHWEST) REAR SETBACK MIN.:	10'-0"	20'-5"	N D
(SOUTH) REAR SETBACK MIN.:	25'-0"	37'-5"	N D
<b>UPPER LEVEL SETBACKS</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	<b>VARIANCE</b>
UPPER SETBACK FROM DANIA BEACH BOULEVARD/A	SAME AS	N D	
* NOTE THAT THE REQUIREMENT FOR UPPER LEVEL	LOWER LEVEL		
SETBACKS WITHIN THE 20' ANGLED LINE MEASURED	SETBACKS		
FROM THE PROPERTY LINE IS ONLY APPLICABLE			
FOR PROPERTIES ADJACENT TO RESIDENTIAL			
ZONING BOUNDARIES (WHICH THIS PROJECT IS NOT)			
<b>PARKING CALCULATION</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	
80 STUD / 1 BR	X 1.25	111	
146 2 B & 3 BR	X 1.75	255	
SUBTOTAL		370	
DEMAND	1 PER 5 UNITS OVER 10 (237-10/5)	46	
REQUIRED		416	370
LOADING	REQUIRED	PROPOSED	
LOADING BERTHS	01	02	
	BERTH 1: 12' X 30'-0-1/2"; BERTH 2: 12' X 30'-1-1/2"		

**2 PROJECT DATA / ZONING CRITERIA**

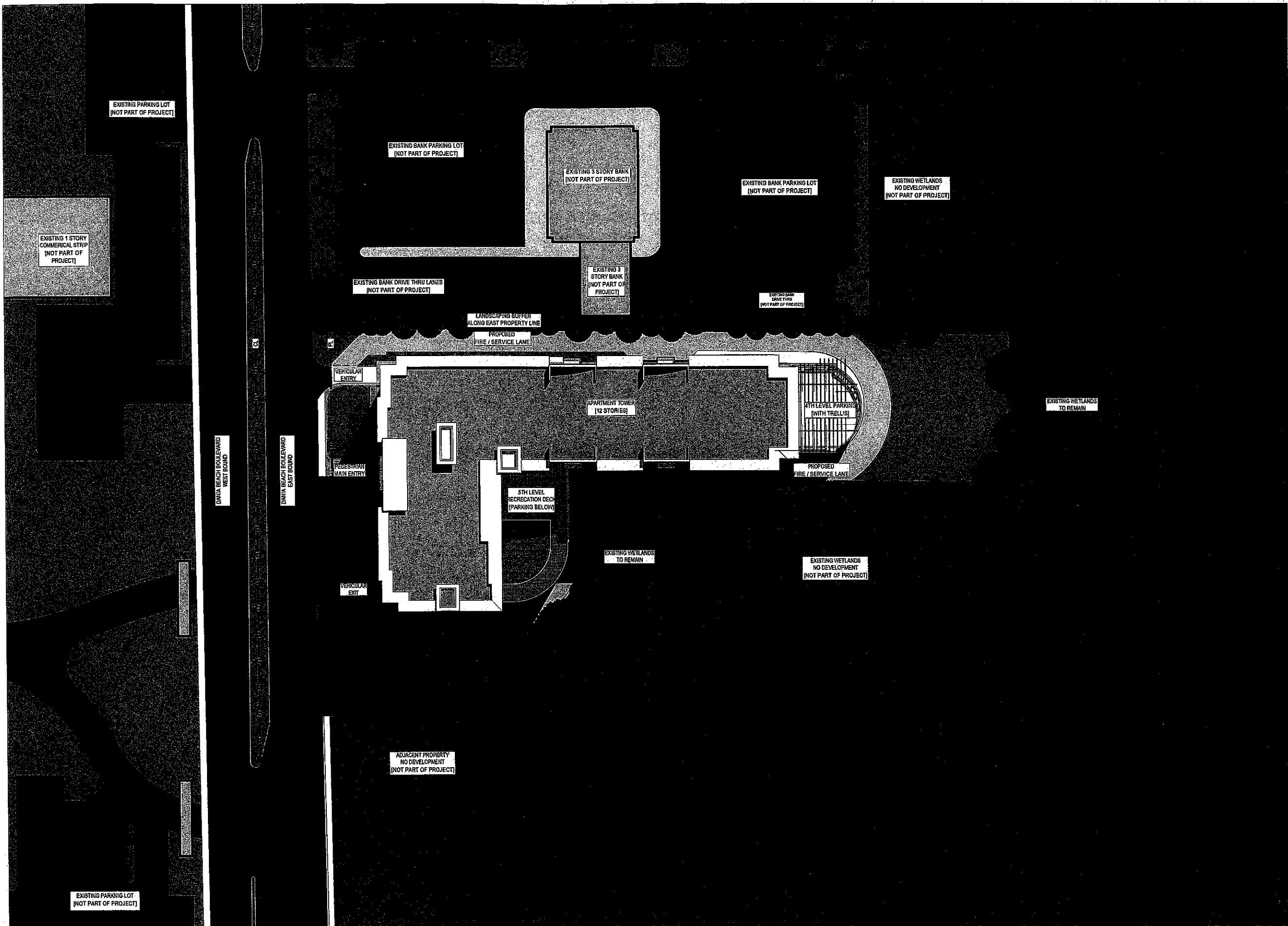
D-0.0A

**4 ENLARGED ADA HC RAMP AT MAIN ENTRY**

D-0.0A



SHEET NO. **G-0.0A**



**RILEY GROUP**  
 1000 BRICKELL AVENUE, SUITE 1015  
 MIAMI, FL 33131  
 Phone: (305) 371-5254 Fax: (305) 371-4626



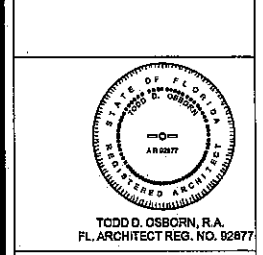
**BERMELLO AJAMIL & PARTNERS INC.**  
 Architecture Engineering Planning Interior Design Landscape Architecture  
 1 EAST BROWARD BLVD. SUITE 600  
 FORT LAUDERDALE, FL 33501  
 Phone: (561) 407-1113 Fax: (561) 407-1115  
 CERT. OF ARCHITECTURE REG. FL ARCH REG. NO. 444000017

**MC MARIANO CORRAL**  
 LANDSCAPE ARCHITECT  
 3001 SW 100TH COURT  
 MIAMI, FLORIDA 33165  
 Phone: (305) 551-1262 Fax: (305) 563-2085



**SUN-TECH ENGINEERING, INC.**  
 ENGINEERS, PLANNERS, SURVEYORS  
 1600 WEST OAKLAND PARK BOULEVARD  
 FORT LAUDERDALE, FL 33311  
 Phone: (561) 777-3123 FAX: (561) 777-3114  
 Certificate of Auth. # 7097

**sescos lighting**  
 WEATHER-RESISTANT LIGHTING  
 1000 N. W. 10th St. - Fort Lauderdale, FL  
 ATLANTA - 2007 HUNTER FORT LAUDERDALE - FORT MYERS - MIAMI  
 1000 N. W. 10th St. Fort Lauderdale, FL 33304  
 www.sescos.com



**SITE PLAN REVISION**  
 AUGUST 2014

REVISIONS:


PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

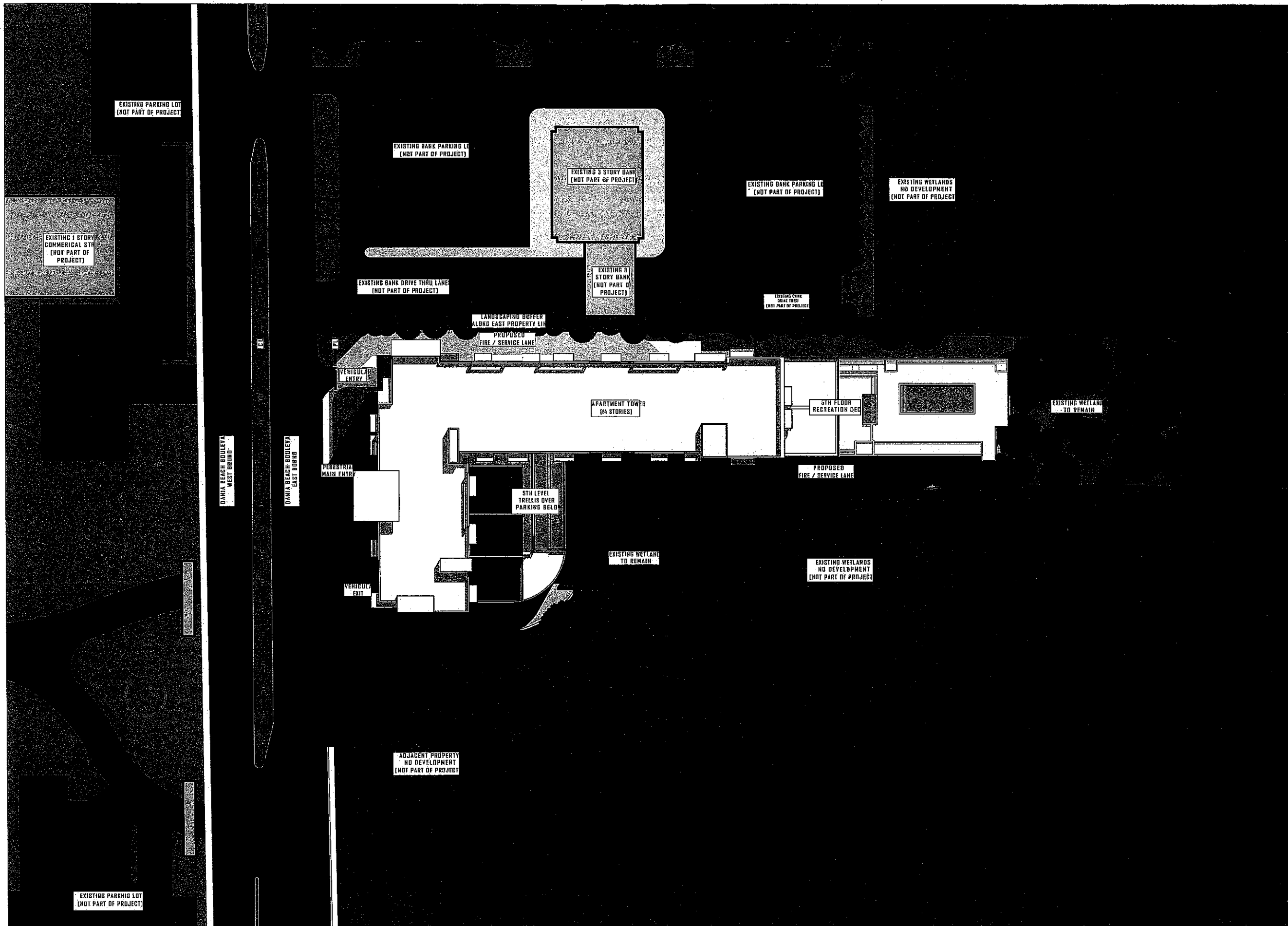
PROJECT ADDRESS:  
 400 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33024

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**PREVIOUSLY APPROVED PROJECT SITE PLAN**

SHEET NO. **A-0.0**





**RILEA GROUP**  
 1000 BRICKELL AVENUE, SUITE 1015  
 MIAMI, FL 33131  
 Phone: (305) 371-5254 Fax: (305) 371-4476

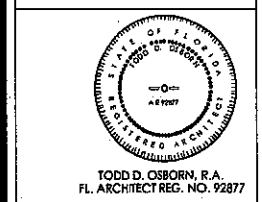


**BERMELLO AJAMIL & PARTNERS INC**  
 Architecture Engineering Planning Interior  
 Design Landscape Architecture  
 1 EAST BROWARD BLVD, SUITE 600  
 FORT LAUDERDALE, FL 33301  
 Phone: (954) 427-1113 Fax: (954) 427-1116  
 E-MAIL: BERMELLO@BA-PA.COM

**MC**  
**MARIANO CORRAL**  
 LANDSCAPE ARCHITECT  
 3021 SW 107TH COURT  
 MIAMI, FLORIDA, 33165  
 Phone: (305) 551-1292 Fax: (305) 553-2058

**SUN-TECH**  
**SUN-TECH ENGINEERING, INC.**  
 ENGINEERS, PLANNERS, SURVEYORS  
 1400 WEST OAKLAND PARK BOULEVARD  
 FORT LAUDERDALE, FL 33311  
 Phone: (954) 777-3123 FAX: (954) 777-3114  
 Certificate of Auth. # 7397

PHOTO-METRICS  
 WEATHER & OUT OF DIMENSION  
 1000 W. 10TH AVENUE  
 MIAMI, FLORIDA 33135  
 WWW.PHOTOMETRICS.COM



**SITE PLAN REVISION**  
 UPDATED PER DRC SEPT. 2014

REVISIONS:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

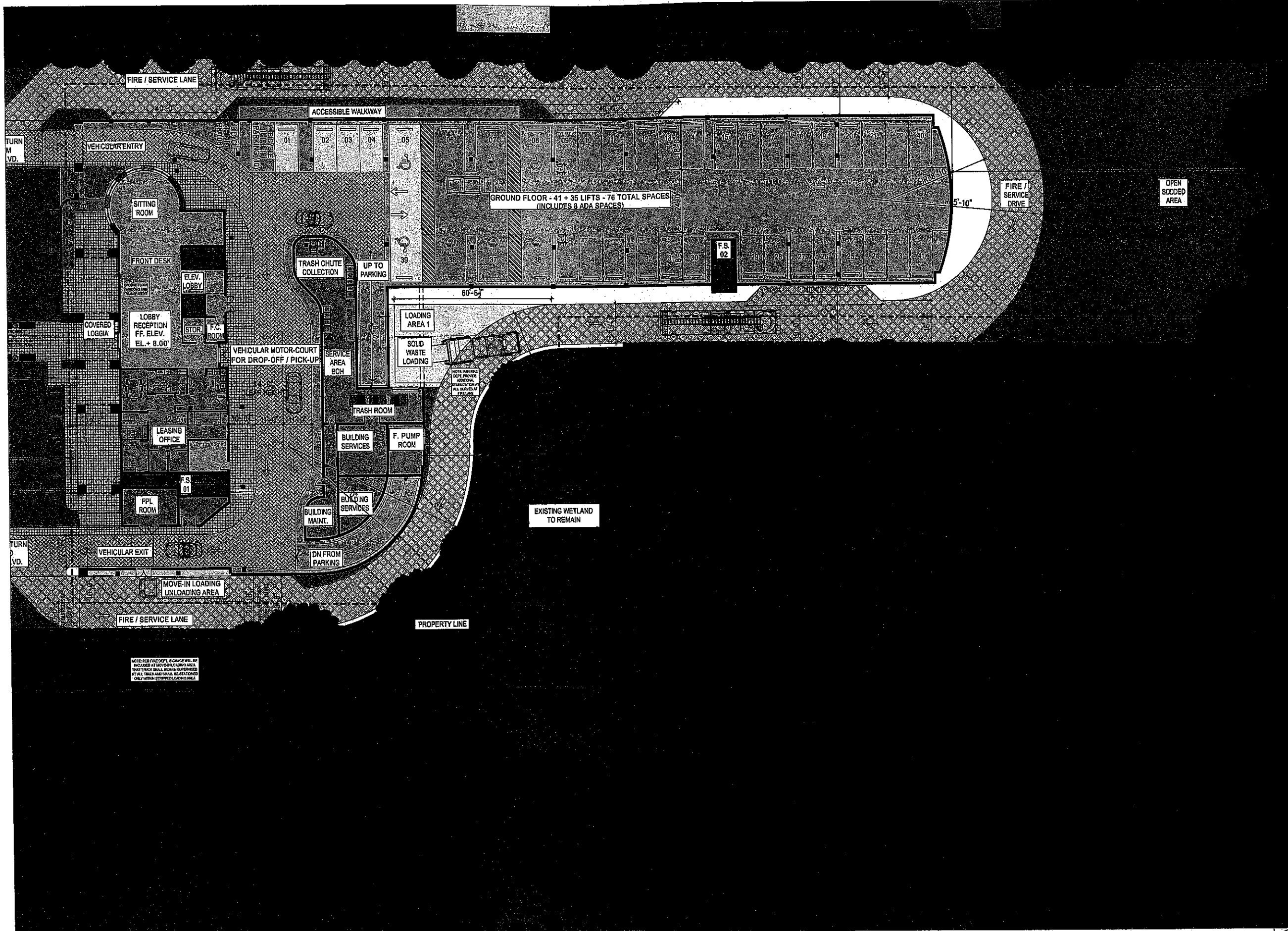
PROJECT ADDRESS:  
 40 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33009

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**UPDATED PROJECT SITE PLAN**

SHEET NO. **A-0.0A**





FIRE / SERVICE LANE

ACCESSIBLE WALKWAY

GROUND FLOOR - 41 + 35 LIFTS - 76 TOTAL SPACES  
(INCLUDES 8 ADA SPACES)

FIRE / SERVICE DRIVE

OPEN SODDED AREA

60'-6"

5'-10"

EXISTING WETLAND TO REMAIN

PROPERTY LINE

FIRE / SERVICE LANE

NOTE: FOR FIRE DEPT. SIGNAGE WILL BE INCLUDED AT MOVE-IN/LOADING AREA TRUCK TRAILS SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE RESTRICTED ONLY WITHIN STRIPPED LOADING AREA

**OWNERSHIP**  
**RG**  
**RILEA GROUP**  
 1000 BRICKELL AVENUE, SUITE 1010  
 MIAMI, FL 33131  
 Phone: (305) 371-8254 Fax: (305) 371-4828

**ARCHITECTURE / PLANNING**  
**la**  
**BERMELLO AJAMIL & PARTNERS INC.**  
 Architecture Engineering Planning Interior  
 Design Landscape Architecture  
 600 S.E. 3RD AVENUE, SUITE 203  
 FORT LAUDERDALE, FL 33310  
 Phone: (954) 467-1110 Fax: (954) 467-1110  
 City of Fort Lauderdale, FL

**LANDSCAPE ARCHITECTURE**  
**MC**  
**MARIANO CORRAL**  
 LANDSCAPE ARCHITECT  
 3001 SW 106TH AVENUE  
 MIAMI, FLORIDA 33165  
 Phone: (305) 551-1282 Fax: (305) 553-2888

**CIVIL ENGINEERING**  
**SUN TECH**  
**SUN-TECH ENGINEERING, INC.**  
 ENGINEERS, PLANNERS, SURVEYORS  
 1600 WEST DANLAND PARK BOULEVARD  
 FORT LAUDERDALE, FL 33314  
 Phone: (954) 777-3123 FAX (954) 777-3114  
 Certificate of Arch. # 7987

**PHOTO-METRICS**  
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 WE TAKE THE # OUT OF DIMENSION  
 10001 SW 10TH AVENUE, SUITE 100  
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 (305) 551-1282  
 www.sesco-lighting.com

**STATE OF FLORIDA**  
**REGISTERED ARCHITECT**  
 A 92877  
**TODD D. OSBORN, R.A.**  
 FL. ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
 AUGUST 2014

REVISIONS:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

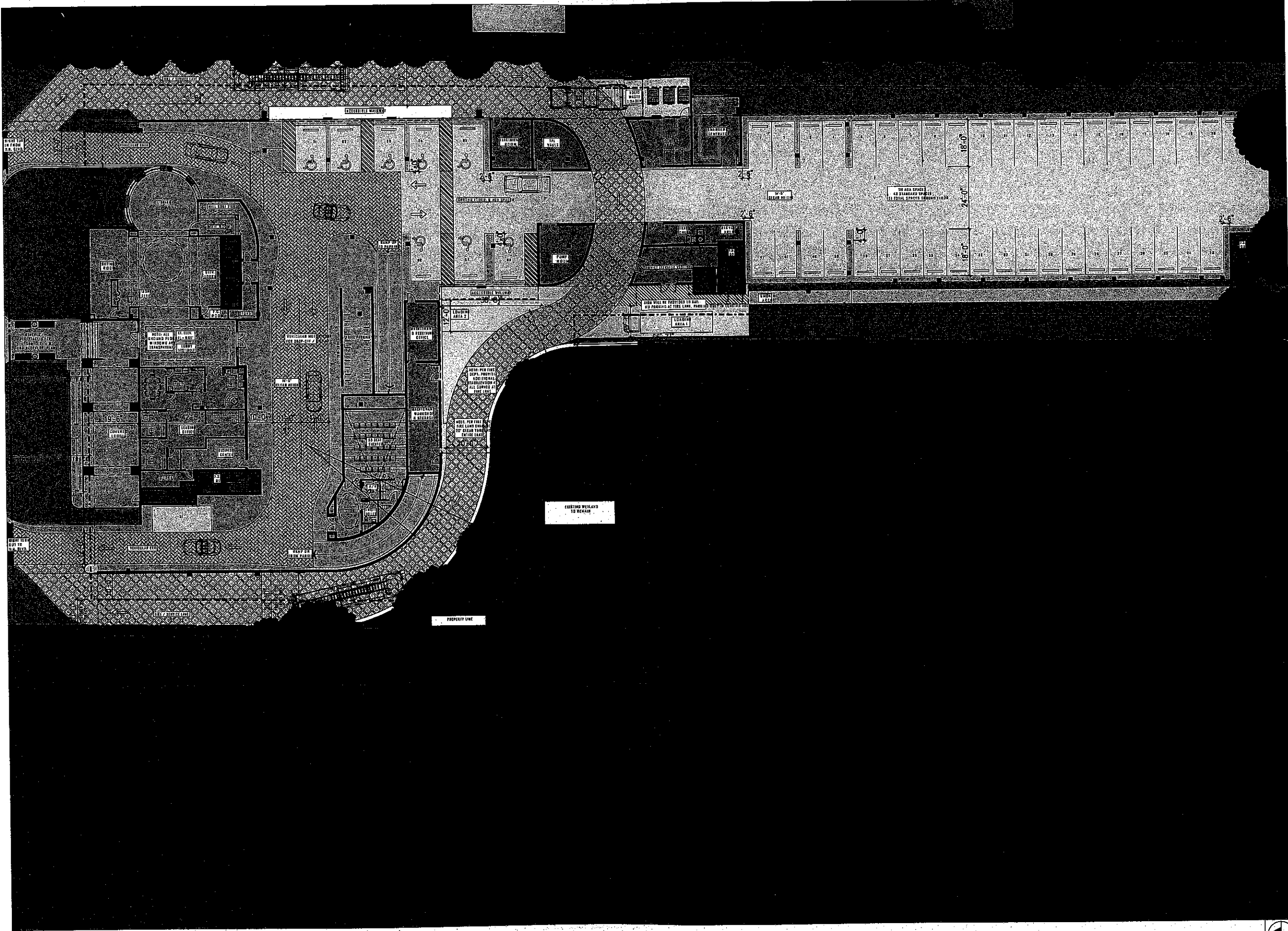
PROJECT ADDRESS:  
 1800 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33018

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**PREVIOUSLY APPROVED**  
**GROUND FLOOR PLAN**  
 SHEET NO. **A-1.0**

**1** GROUND FLOOR PLAN  
 A-1.0 SCALE: 1/16" = 1'-0"





OWNERSHIP

**RG**

RILEA GROUP  
1000 MICHELL AVENUE, SUITE 1015  
MIAMI, FL 33131  
Phone: (305) 371-5254 Fax: (305) 371-4656

ARCHITECTURE / PLANNING

**ca**

BERMELO AJAMIL & PARTNERS INC  
Architecture Engineering Planning Interior Design Landscape Architecture  
500 S.E. 3RD AVENUE, SUITE 203  
FORT LAUDERDALE, FL 33316  
Phone: (954) 482-1115 Fax: (954) 487-1116  
CITY OF ADMINISTRATION AREA FLA ARCH. REG. # 14628010

LANDSCAPE ARCHITECTURE

**MC**

MARIANO CORRAL  
LANDSCAPE ARCHITECT  
3001 SW 109TH COURT  
MIAMI, FLORIDA 33165  
Phone: (305) 551-1252 Fax: (305) 553-2085

CIVIL ENGINEERING

**SUN  
TECH**

SUN-TECH ENGINEERING, INC.  
ENGINEERS, PLANNERS, SURVEYORS  
1600 WEST OAKLAND PARK BOULEVARD  
FORT LAUDERDALE, FL 33311  
Phone: (754) 777-3123 FAX: (754) 777-3114  
Certificate of Auth. # 7077

PHOTO-METRICS

\*\*\*\*\*  
\*\*\*\*\*  
WE TAKE THE "OUT OF SUBMITTING"  
\*\*\*\*\*  
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FLORIDA CONTRACTORS COUNCIL LICENSE # 14628010-14628011-14628012-14628013-14628014-14628015  
OR SUBSCRIBER MAILING LIST # 14628016-14628017-14628018-14628019-14628020  
\*\*\*\*\*  
\*\*\*\*\*

**SITE PLAN  
REVISION**  
UPDATED PER DRC OCT, 2014

REVISIONS:

PROJECT NAME:  
**PARCO MARE  
APARTMENT PROJECT  
DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
462 EAST DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33024

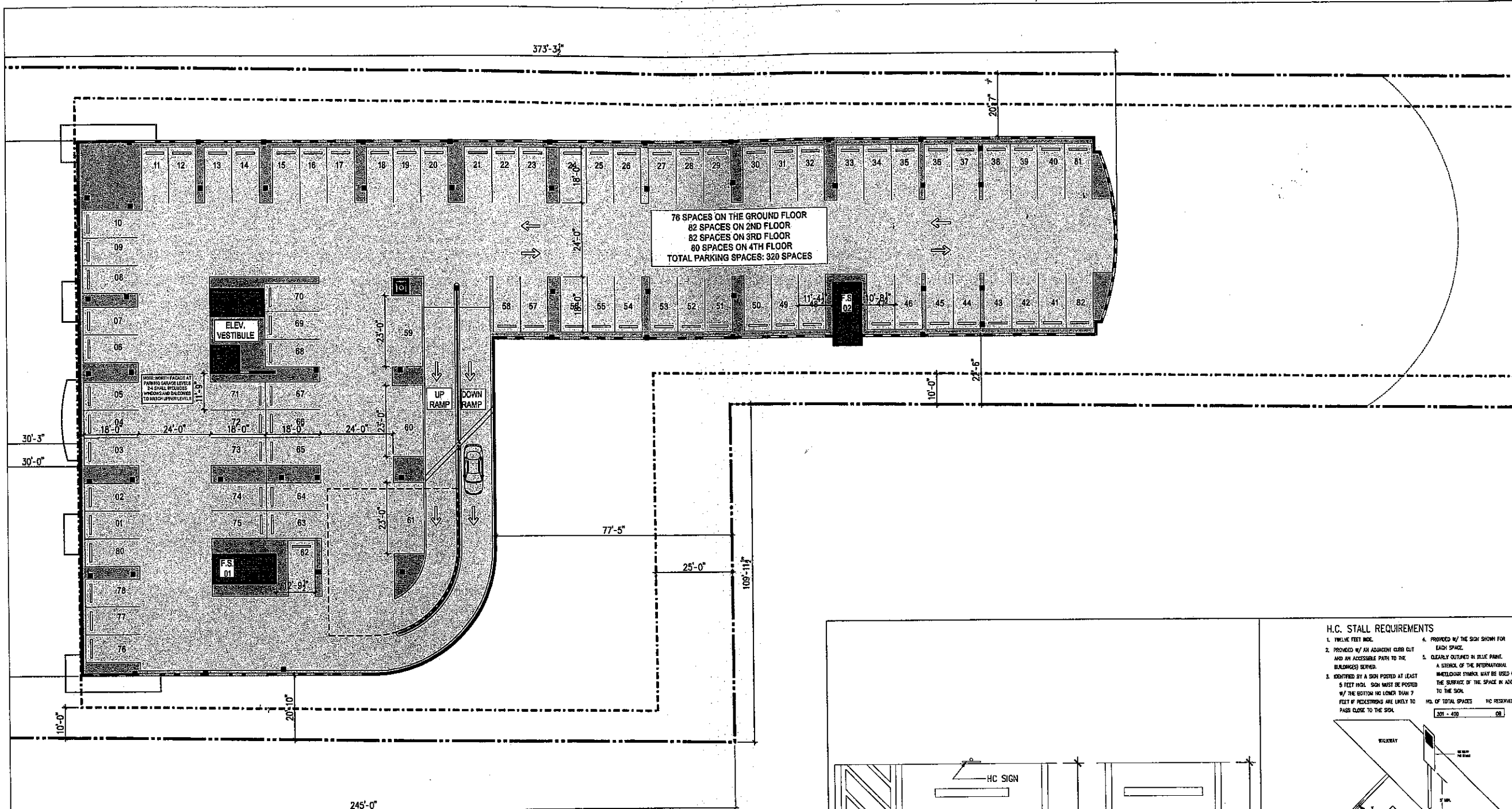
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DRAWN: \_\_\_\_\_  
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DRAWING TITLE:  
**UPDATED  
GROUND FLOOR  
PLAN**

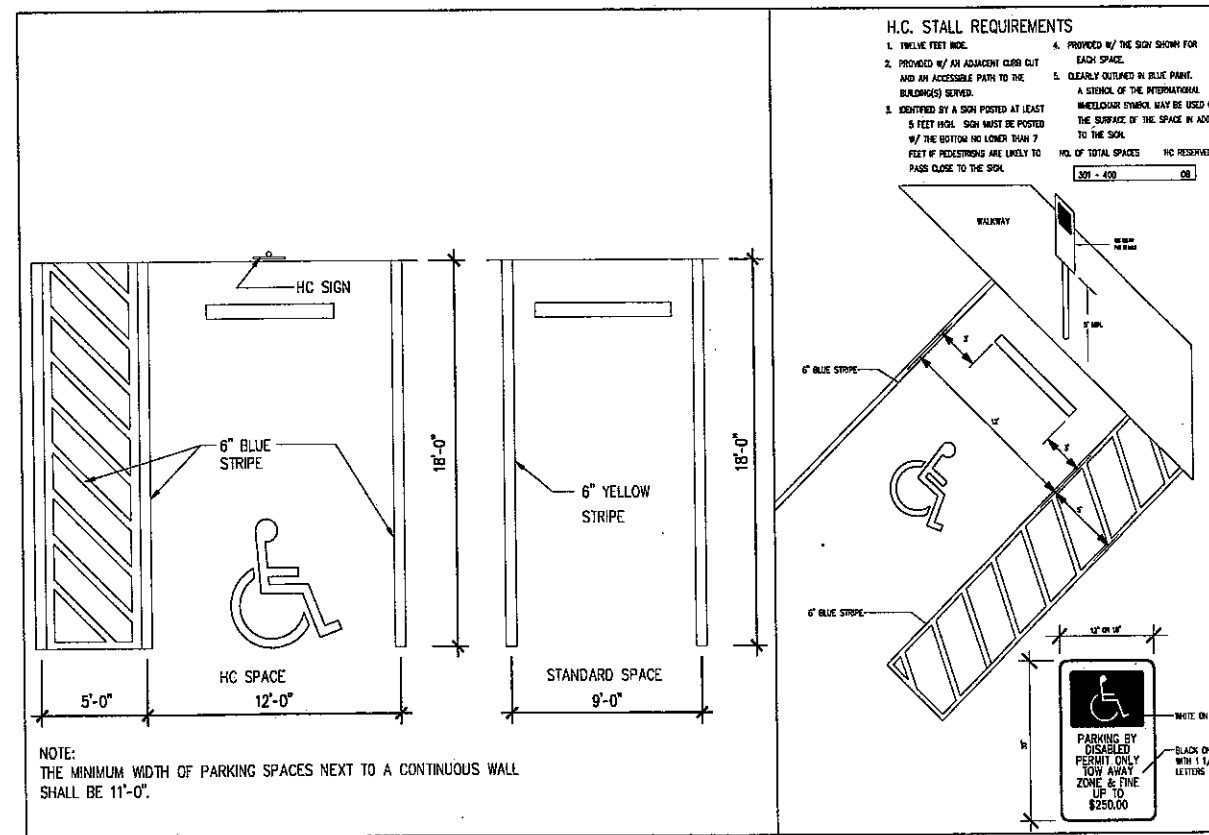
SHEET NO. **A-1.0A**







APARTMENT UNIT COUNT		APARTMENT UNIT MIX		
FLOOR	QUANTITY	TYPE	%	QUANTITY
5TH	20	1 BEDROOM	35%	63
6TH	23	2 BEDROOM	65%	118
7TH	23	TOTAL	100%	181
8TH	23	PARKING BREAKDOWN		
9TH	23	TYPE	CALC.	QUANTITY
10TH	23	63 1 BR	1.25	79
11TH	23	118 2 BDR	1.75	207
12TH	23	SUBTOTAL		286
TOTAL	181	GUEST	1/5 < 10	34
		REQUIRED		320
		PROVIDED		320



**H.C. STALL REQUIREMENTS**

1. TWELVE FEET WIDE.
2. PROVIDED W/ AN ADJACENT CURB CUT AND AN ACCESSIBLE PATH TO THE BUILDING(S) SERVED.
3. IDENTIFIED BY A SIGN POSTED AT LEAST 5 FEET HIGH. SIGN MUST BE POSTED W/ THE BOTTOM NO LOWER THAN 7 FEET IF PEDESTRIANS ARE LIKELY TO PASS CLOSE TO THE SIGN.
4. PROVIDED W/ THE SIGN SHOWN FOR EACH SPACE.
5. CLEARLY OUTLINED IN BLUE PAINT. A SYMBOL OF THE INTERNATIONAL WHEELCHAIR SYMBOL MAY BE USED ON THE SURFACE OF THE SPACE IN ADDITION TO THE SIGN.

NO. OF TOTAL SPACES: 320 - 400  
 NO. RESERVED: 08

**1 2ND - 4TH FLOOR PLAN - PARKING GARAGE LEVELS**  
 SCALE: 1/16" = 1'-0"

**2 TYPICAL PARKING STALL DETAILS**  
 SCALE: 1/4" = 1'-0"

**3 HC STALL DIAGRAM**  
 SCALE: NOT TO SCALE

**OWNERSHIP**

**RILEA GROUP**  
 1000 BRICKELL AVENUE, SUITE 1015  
 MIAMI, FL 33131  
 Phone: (305) 371-5254 Fax: (305) 371-4525

**ARCHITECTURE / PLANNING**

**BERMELLO AJAMIL & PARTNERS INC.**  
 Architecture Engineering Planning Interior Design Landscape Architecture  
 900 S.E. 3RD AVENUE, SUITE 203  
 FORT LAUDERDALE, FL 33316  
 Phone: (954) 457-1113 Fax: (954) 487-1116  
 CERT. OF ARCHITECTURE REG. FL ARCH REG. NO. AA000013

**LANDSCAPE ARCHITECTURE**

**MARIANO CORRAL**  
 LANDSCAPE ARCHITECT  
 2001 SW 109TH COURT  
 MIAMI, FL 33185  
 Phone: (305) 551-4202 Fax: (305) 553-2084

**CIVIL ENGINEERING**

**SUN-TECH ENGINEERING, INC.**  
 ENGINEERS, PLANNERS, SURVEYORS  
 1600 WEST OAKLAND PARK BOULEVARD  
 FORT LAUDERDALE, FL 33311  
 Phone: (954) 773-1232 FAX (954) 777-3114  
 Certificate of Auth. # 7097

**PHOTO-METRICS**

**sesco lighting**  
 WE TAKE THE # OUT OF ILLUMINATION  
 1000 S.W. 10TH AVENUE, SUITE 200  
 FORT LAUDERDALE, FL 33304  
 Phone: (954) 457-1113 FAX: (954) 457-1116  
 www.sesco-lighting.com

**TODD D. OSBORN, P.A.**  
 FL. ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
 AUGUST 2014

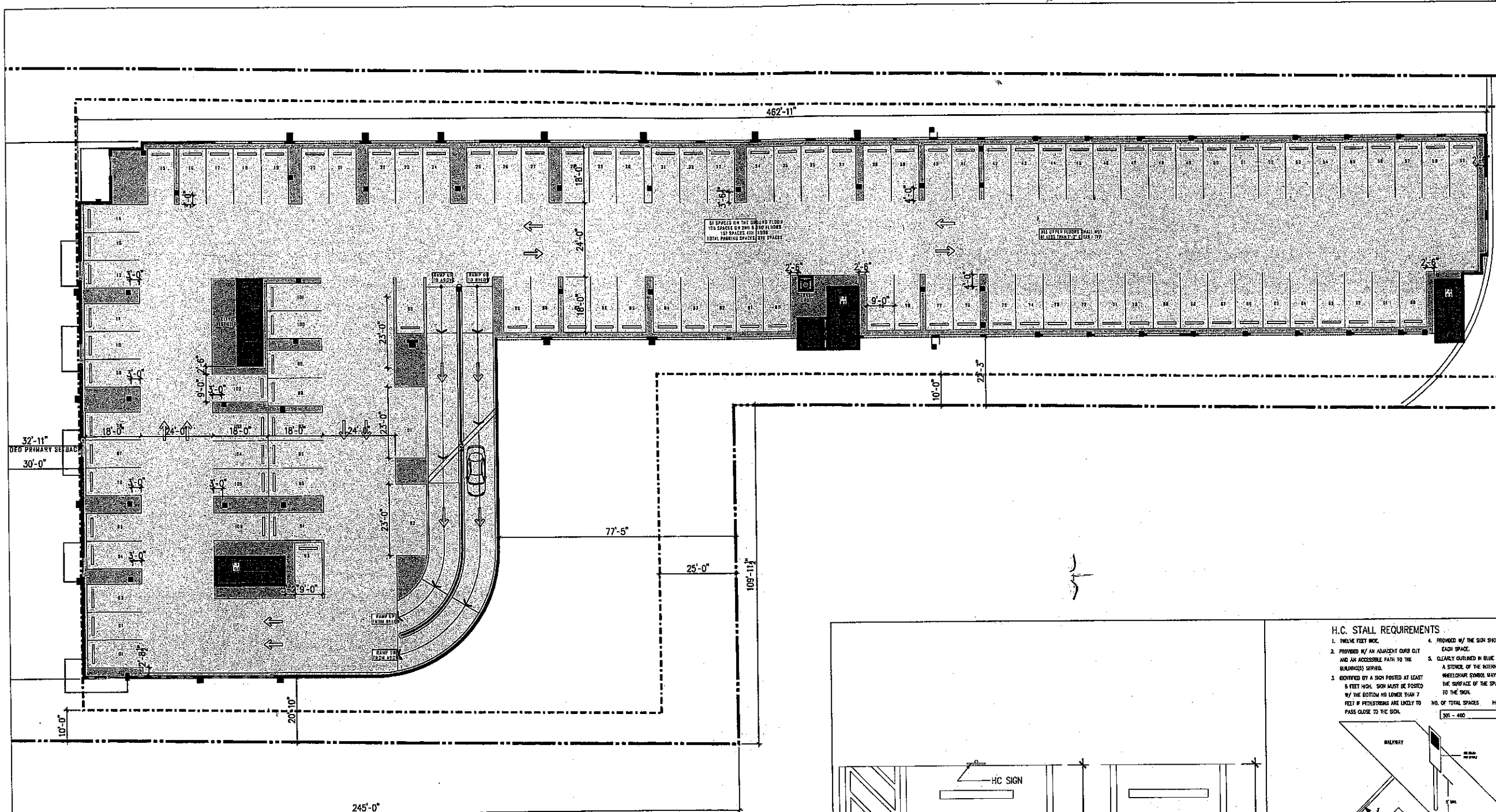
**REVISIONS:**

**PROJECT NAME:**  
**PARCO MARE APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

**PROJECT ADDRESS:**  
 400 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33004

**COMM. NO.:** \_\_\_\_\_  
**SCALE:** \_\_\_\_\_  
**DATE:** \_\_\_\_\_  
**DRAWN:** \_\_\_\_\_  
**CHECKED:** \_\_\_\_\_  
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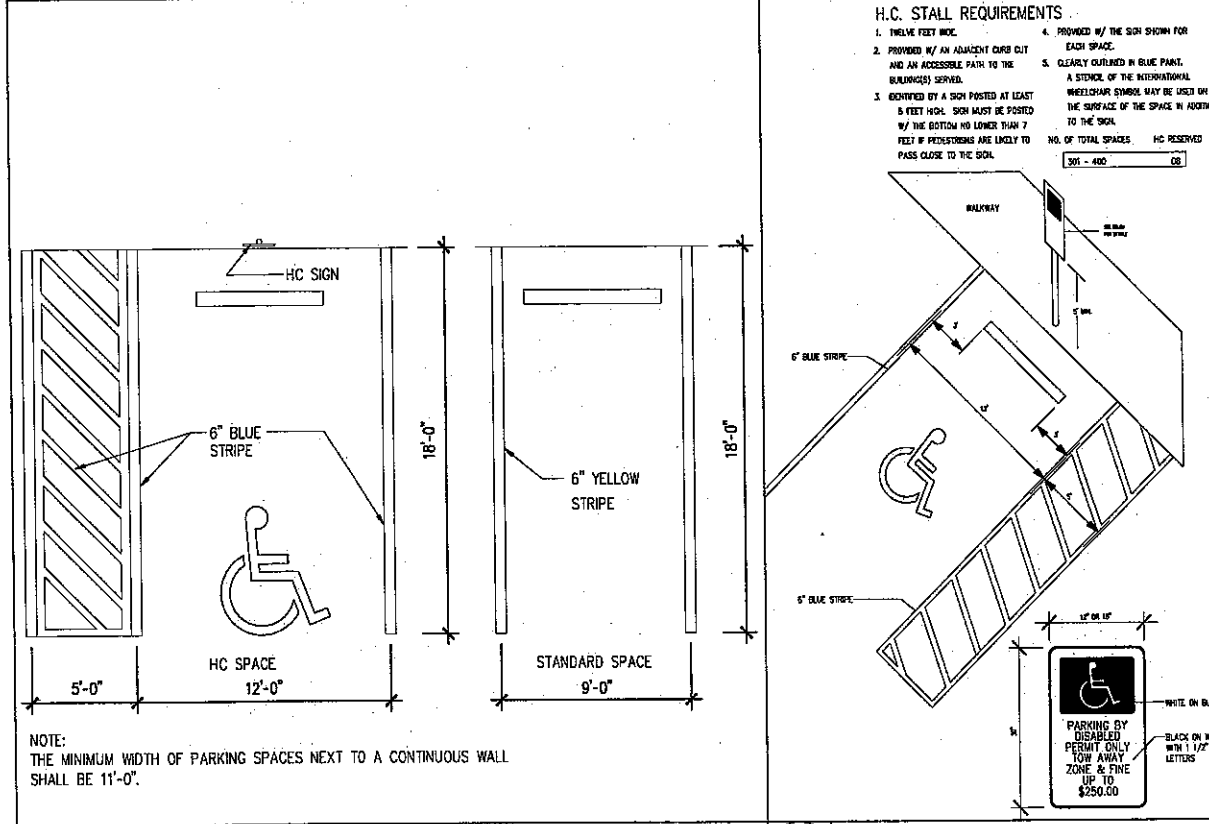
**DRAWING TITLE:**  
**PREVIOUSLY APPROVED**  
**2ND - 4TH FLOOR**  
**PLA N - PARKING**  
**GARAGE LEVELS**  
 SHEET NO. **A-1.1**



APARTMENT UNIT COUNT		APARTMENT UNIT MIX		
FLOOR	QUANTITY	TYPE	%	QUANTITY
5TH	21	1 STUDIO	4.8%	10
6TH	24	1 1 BED ROOM	23%	78
7TH	24	2 2 BED ROOM	53%	120
8TH	24	3 3 BED ROOM	10%	72
TOTAL			100%	227

PARKING REQUIREMENTS		
TYPE	CALC.	QUANTITY
88 STIP / 180	1.25	110
148 2 X 8 500	1.25	185
SUBTOTAL		295
RESERVED		45
REQUIRED		250
PROVIDED		257
DEFICIT		-7



**OWNERSHIP**  
  
**RILEA GROUP**  
 1000 BRICCELL AVENUE, SUITE 1015  
 MIAMI, FL 33131  
 Phone: (305) 371-5254 Fax: (305) 371-4526

**ARCHITECTURE / PLANNING**  
  
**BERMELLO AJAMIL & PARTNERS INC.**  
 Architecture Engineering Planning Interior Design Landscape Architecture  
 900 S.E. 3RD AVENUE, SUITE 203  
 FORT LAUDERDALE, FL 33315  
 Phone: (954) 467-1113 Fax: (954) 467-1116  
 CITY OF AUTHORISATION: FLORIDA REG. ARCH. NO. 12060

**LANDSCAPE ARCHITECTURE**  
  
**MARIANO CORRAL**  
 LANDSCAPE ARCHITECT  
 3001 SW 120TH COURT  
 MIAMI, FLORIDA 33186  
 Phone: (305) 551-1262 Fax: (305) 553-9088

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 FORT LAUDERDALE, FL 33311  
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**STATE OF FLORIDA**  
  
 TODD D. OSBORN, R.A.  
 FL ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
 UPDATED PER DRC OCT. 2014

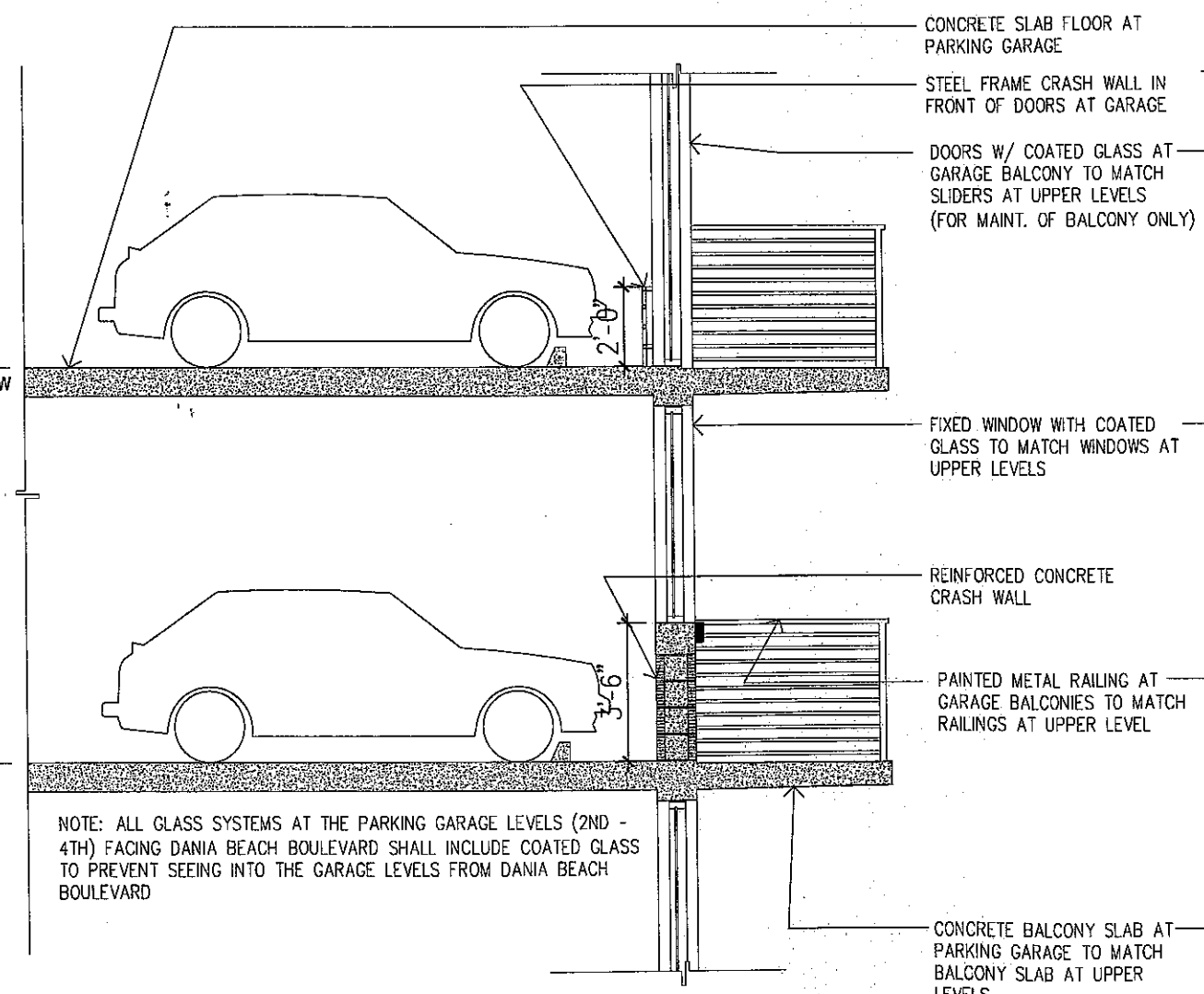
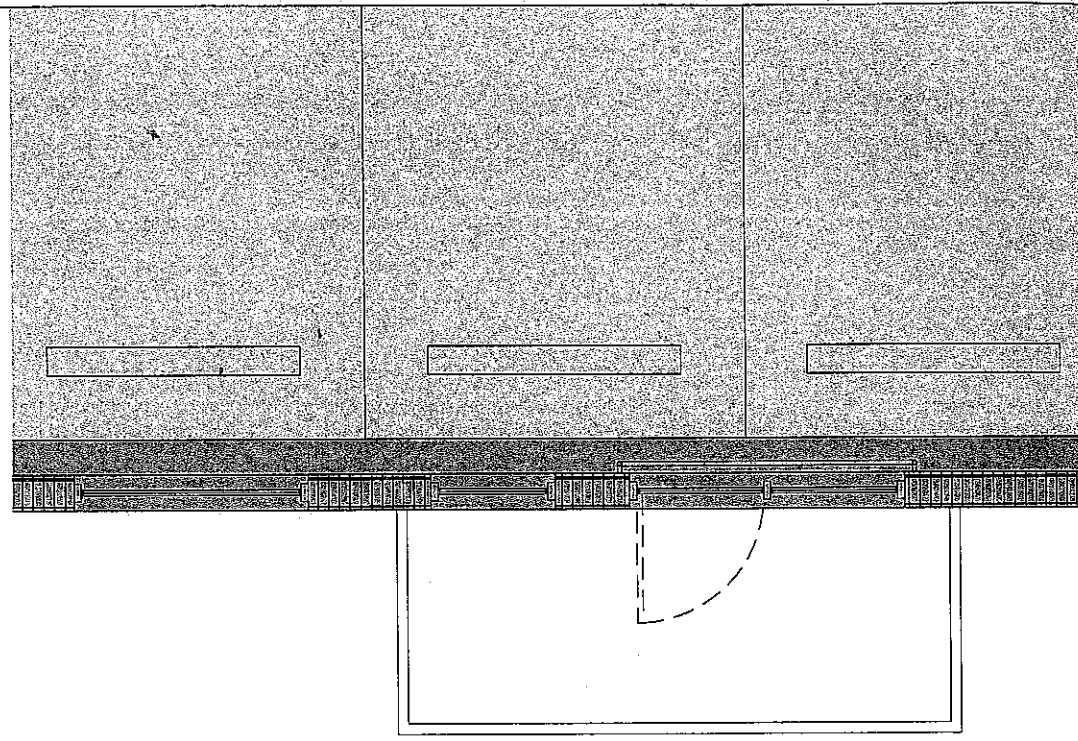
**REVISIONS:**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**PROJECT NAME:**  
**PARCO MARE APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

**PROJECT ADDRESS:**  
 480 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33024

**COMM. NO.:** \_\_\_\_\_  
**SCALE:** \_\_\_\_\_  
**DATE:** \_\_\_\_\_  
**DRAWN:** \_\_\_\_\_  
**CHECKED:** \_\_\_\_\_  
**CADD FILE:** \_\_\_\_\_

**DRAWING TITLE:**  
 UPDATED  
 2ND - 4TH FLOOR  
 PLAN - PARKING  
 GARAGE LEVELS  
 SHEET NO. **A-1.1A**



CONCRETE SLAB FLOOR AT PARKING GARAGE

STEEL FRAME CRASH WALL IN FRONT OF DOORS AT GARAGE

DOORS W/ COATED GLASS AT GARAGE BALCONY TO MATCH SLIDERS AT UPPER LEVELS (FOR MAINT. OF BALCONY ONLY)

FIXED WINDOW WITH COATED GLASS TO MATCH WINDOWS AT UPPER LEVELS

REINFORCED CONCRETE CRASH WALL

PAINTED METAL RAILING AT GARAGE BALCONIES TO MATCH RAILINGS AT UPPER LEVEL

CONCRETE BALCONY SLAB AT PARKING GARAGE TO MATCH BALCONY SLAB AT UPPER LEVELS

4TH PARKING FLR.  
SECTION AT WINDOW

3RD PARKING FLR.  
SECTION AT DOOR

NOTE: ALL GLASS SYSTEMS AT THE PARKING GARAGE LEVELS (2ND - 4TH) FACING DANIA BEACH BOULEVARD SHALL INCLUDE COATED GLASS TO PREVENT SEEING INTO THE GARAGE LEVELS FROM DANIA BEACH BOULEVARD



**RILEA GROUP**  
1000 BRICKELL AVENUE, SUITE 1015  
MIAMI, FL 33131  
Phone: (305) 371-8254 Fax: (305) 371-4628

ARCHITECTURE / PLANNING

LANDSCAPE ARCHITECTURE

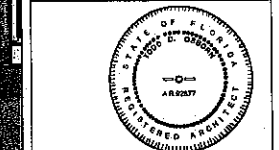
**MC**  
**MARIANO CORRAL**  
LANDSCAPE ARCHITECT  
3001 SW 180TH COURT  
MIAMI, FLORIDA 33185  
Phone: (305) 551-4262 Fax: (305) 553-2056

CIVIL ENGINEERING



**SUN-TECH ENGINEERING, INC.**  
MEMBERS OF A PROFESSION OF SURVEYORS  
10000 BAYVIEW BOULEVARD  
SUITE 1000  
MIAMI BEACH, FLORIDA 33154  
Phone: (305) 497-1113 Fax: (305) 497-1114

**sesco lighting**  
WE TAKE THE # OUT OF BRUNNEN  
10000 BAYVIEW BOULEVARD  
SUITE 1000  
MIAMI BEACH, FLORIDA 33154  
www.sesco.com



TODD D. OSBORN, R.A.  
FL. ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
AUGUST 2014

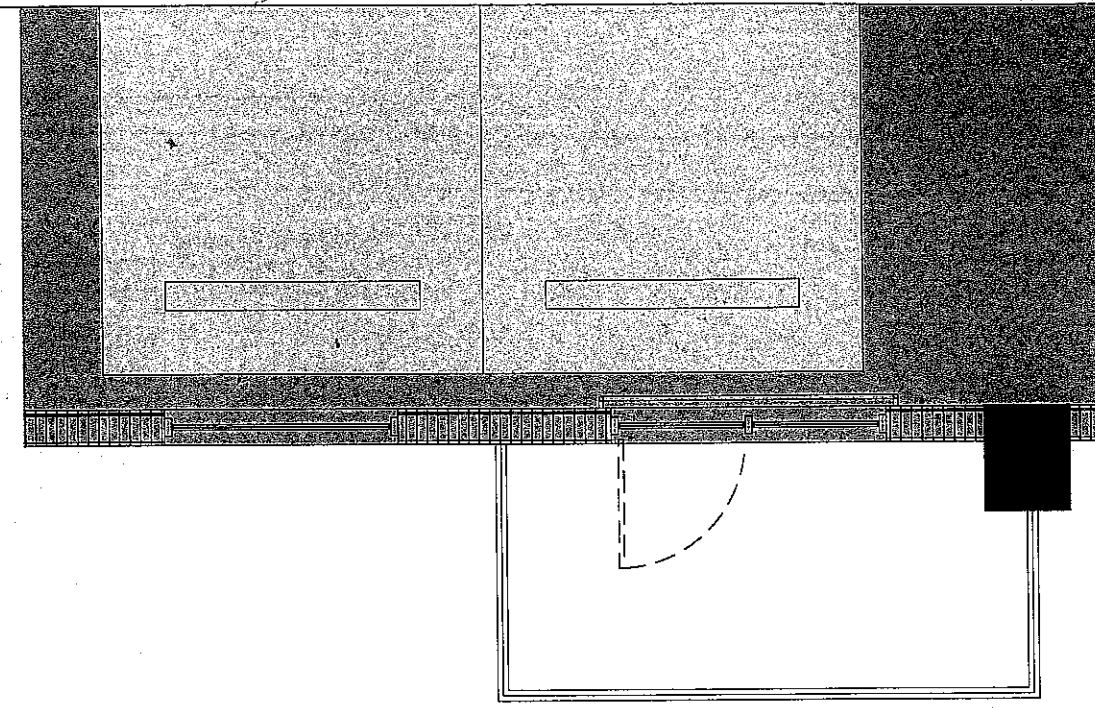
REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
DANIA BEACH, FLORIDA

PROJECT ADDRESS:  
480 EAST DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33004

COMM. NO. \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**PREVIOUSLY APPROVED**  
**FACADE DETAIL AT**  
**PARKING LEVELS -**  
**NORTH ELEVATION**  
SHEET NO.  
**A-1.1B**



OWNERSHIP



**RILEA GROUP**  
 1000 BRICKELL AVENUE, SUITE 1615  
 MIAMI, FL 33131  
 Phone: (305) 371-5254 Fax: (305) 371-4525


ARCHITECTURE / PLANNING

---

LANDSCAPE ARCHITECTURE


**MC**  
**MARIANO CORRAL**  
 LANDSCAPE ARCHITECT  
 3201 SW 103TH COURT  
 MIAMI, FLORIDA 33165  
 Phone: (305) 551-1252 Fax: (305) 558-2088

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 2000 N.W. 103rd Ave., Suite 200  
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 STATE OF FLORIDA REG. NO. 15000  
 STATE OF ALABAMA REG. NO. 15000

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**TODD D. OSBORN, R.A.**  
 FL ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
 AUGUST 2014

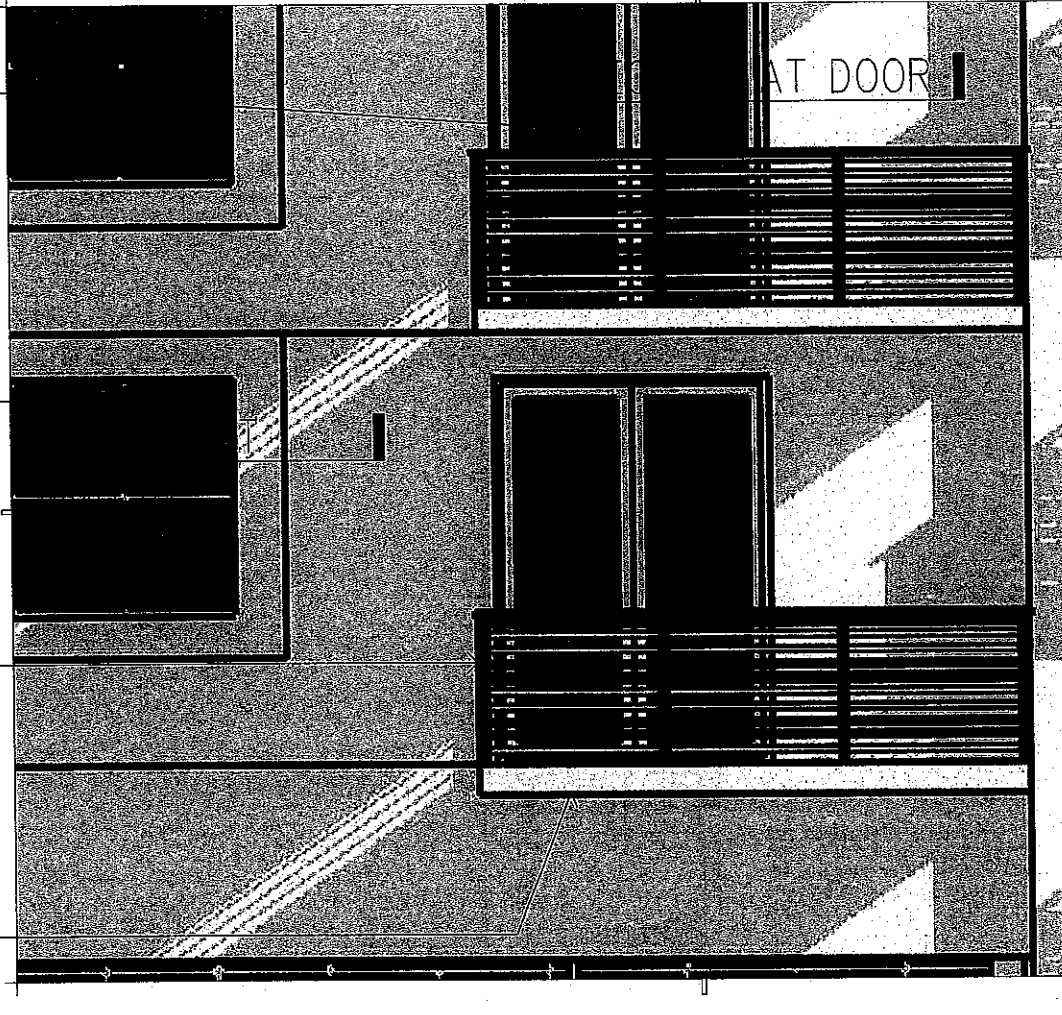
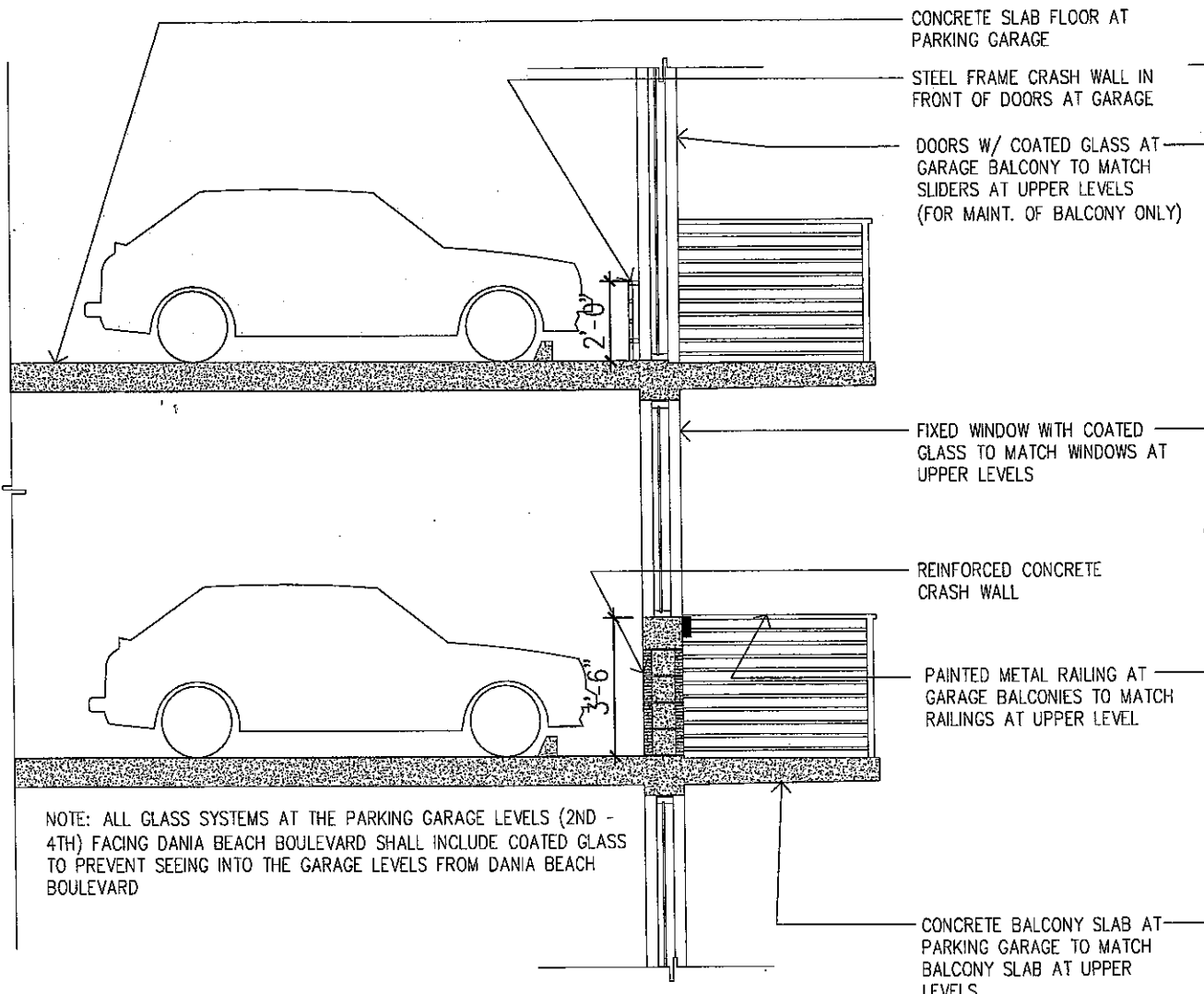
REVISIONS:


PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

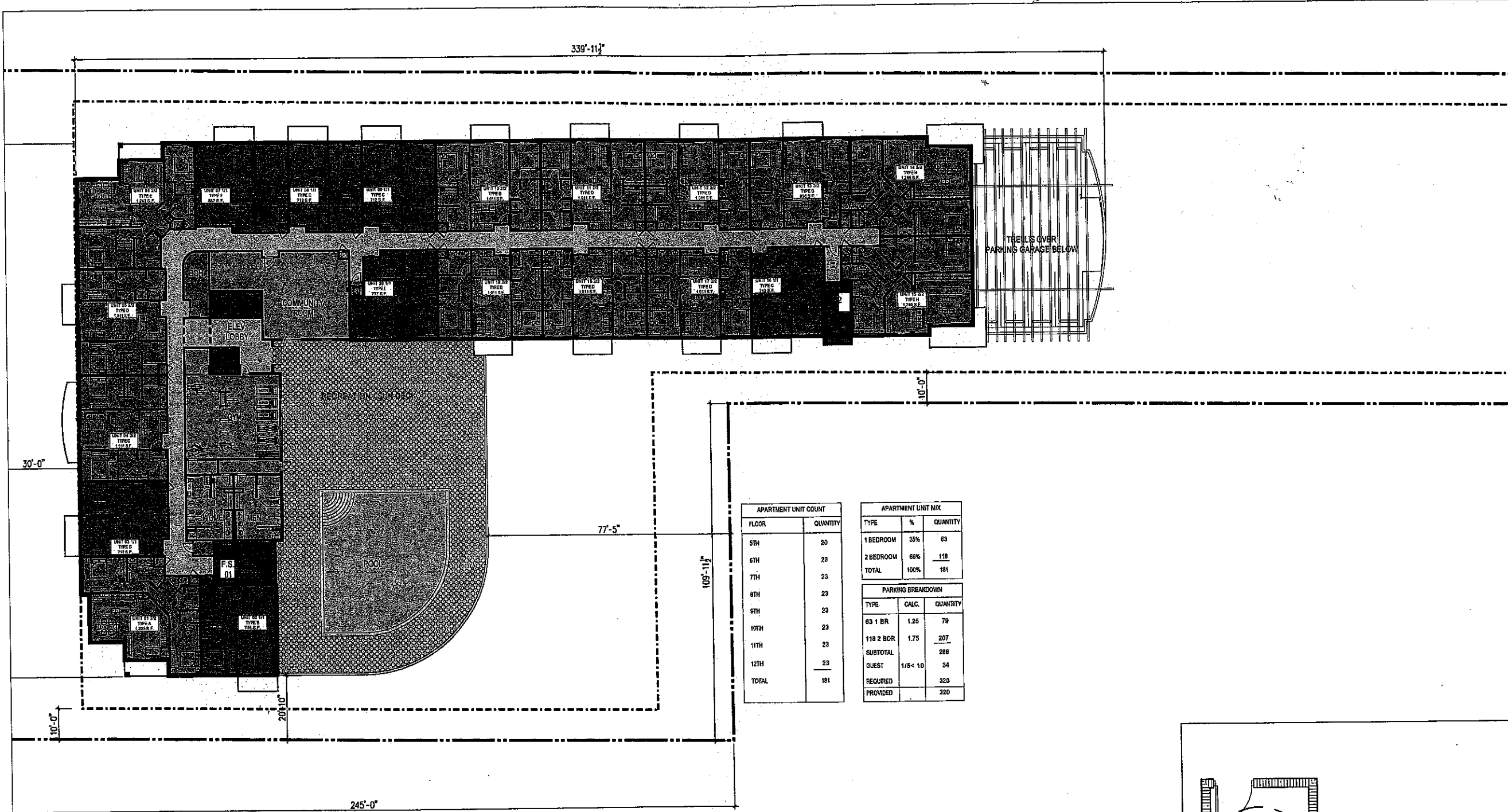
PROJECT ADDRESS:  
 600 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33024

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**UPDATED FACADE DETAIL AT PARKING LEVELS - NORTH ELEVATION**  
 SHEET NO. **A-1.1C**



**1** FACADE DETAIL AT PARKING LEVEL - NORTH ELEVATION  
 SCALE: 1/2" = 1'-0"

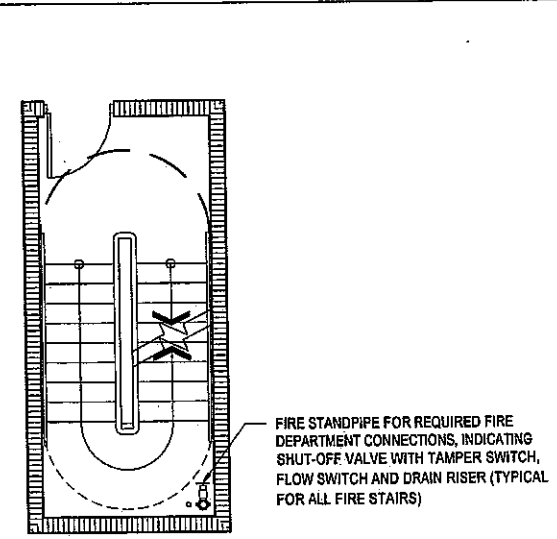


APARTMENT UNIT COUNT	
FLOOR	QUANTITY
5TH	20
6TH	23
7TH	23
8TH	23
9TH	23
10TH	23
11TH	23
12TH	23
TOTAL	181


APARTMENT UNIT MIX		
TYPE	%	QUANTITY
1 BEDROOM	33%	63
2 BEDROOM	66%	118
TOTAL	100%	181

PARKING BREAKDOWN		
TYPE	CALC.	QUANTITY
63 1 BR	1.25	79
118 2 BOR	1.75	207
SUBTOTAL		286
GUEST	1/5 x 10	34
REQUIRED		320
PROVIDED		220




OWNERSHIP




**RILEA GROUP**  
1000 BRICKELL AVENUE, SUITE 1015  
MIAMI, FL 33131  
Phone: (305) 371-8254 Fax: (305) 371-4626

ARCHITECTURE / PLANNING




**BERMELO AJAMIL & PARTNERS INC**  
Architecture Engineering Planning Interior Design Landscape Architecture  
608 S.E. 9th AVENUE, SUITE 203  
FORT LAUDERDALE, FL 33316  
Phone: (954) 487-1113 Fax: (954) 487-1116  
CERT. OF ARCHITECTURE #002 FL ARCH. REG. NO. 00000418

LANDSCAPE ARCHITECTURE




**MARIANO CORRAL**  
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2091 SW 109TH COURT  
MIAMI, FLORIDA 33156  
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FL. ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
AUGUST 2014

REVISIONS:

PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
DANIA BEACH, FLORIDA

PROJECT ADDRESS:  
420 EAST DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33004

COMM. NO. \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**PREVIOUSLY APPROVED 5TH FLOOR PLAN RECREATION DECK LEVEL**  
SHEET NO. **A-1.2**

**1 5TH FLOOR PLAN - RECREATION DECK LEVEL**  
A-12 SCALE: 1/16" = 1'-0"

**2 ENLARGED TYPICAL FIRE STAIR**  
A-12 SCALE: 1/4" = 1'-0"



RILEA GROUP  
1000 BRICKELL AVENUE, SUITE 1015  
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CERT. OF ARCHITECTURE #2004 ARCH. REG. NO. 142220412

LANDSCAPE ARCHITECTURE



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LANDSCAPE ARCHITECT  
3001 SW 109TH COURT  
MIAMI, FLORIDA 33146  
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1600 WEST OAKLAND PARK BOULEVARD  
FORT LAUDERDALE, FL 33311  
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Certificate of Auth. # 7077

PHOTO-METRICS



TODD D. OSBORN, R.A.  
FL. ARCHITECT REG. NO. 92877

**SITE PLAN**  
**REVISION**  
UPDATED PER DRC SEPT. 2014

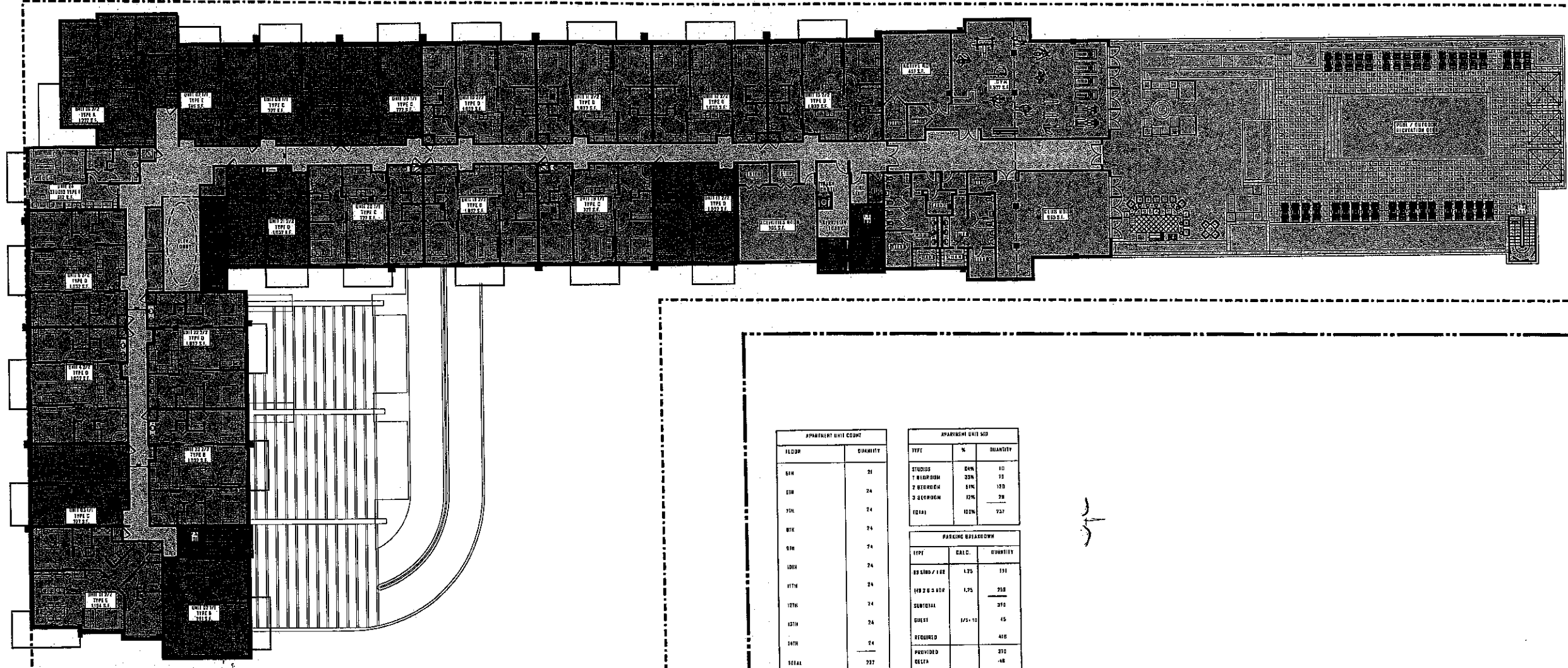
REVISIONS:

PROJECT NAME:  
PARCO MARE  
APARTMENT PROJECT  
DANIA BEACH, FLORIDA

PROJECT ADDRESS:  
400 EAST DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33004

COMM. NO. \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
CADD FILE: \_\_\_\_\_

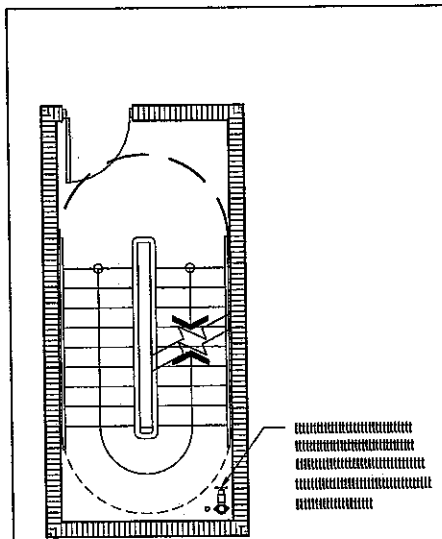
DRAWING TITLE:  
UPDATED  
5TH FLOOR PLAN  
RECREATION DECK  
LEVEL  
SHEET NO.  
**A-1.2A**



APARTMENT UNIT COUNT	
FLOOR	QUANTITY
614	26
618	24
754	24
814	24
914	24
1014	24
1114	24
1214	24
1314	24
1414	24
TOTAL	232

APARTMENT UNIT MIX		
TYPE	%	QUANTITY
STUDIO	8%	19
1 BEDROOM	20%	46
2 BEDROOM	61%	142
3 BEDROOM	11%	25
TOTAL	100%	232

PARKING BREAKDOWN		
TYPE	CALC.	QUANTITY
RESIDENT / 1.00	1.75	131
VISITING / 0.50	1.25	95
SUBTOTAL		226
GUEST	1.75-1.0	45
REQUIRED		450
PROVIDED		271
DEFICIT		-179





**RILEA GROUP**  
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 MIAMI, FL 33131  
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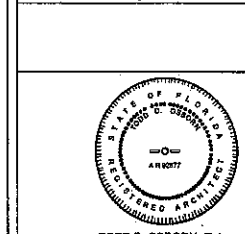
**BERMELLO AJAMIL & PARTNERS INC**  
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 100 S.E. 3RD AVENUE, SUITE 203  
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 CERT. OF ARCHITECTURE REG. FL ARCHITECT REG. NO. 9280412

**MC**  
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 MIAMI, FLORIDA 33155  
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TODD D. OSBORN, R.A.  
 FL ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
 AUGUST 2014

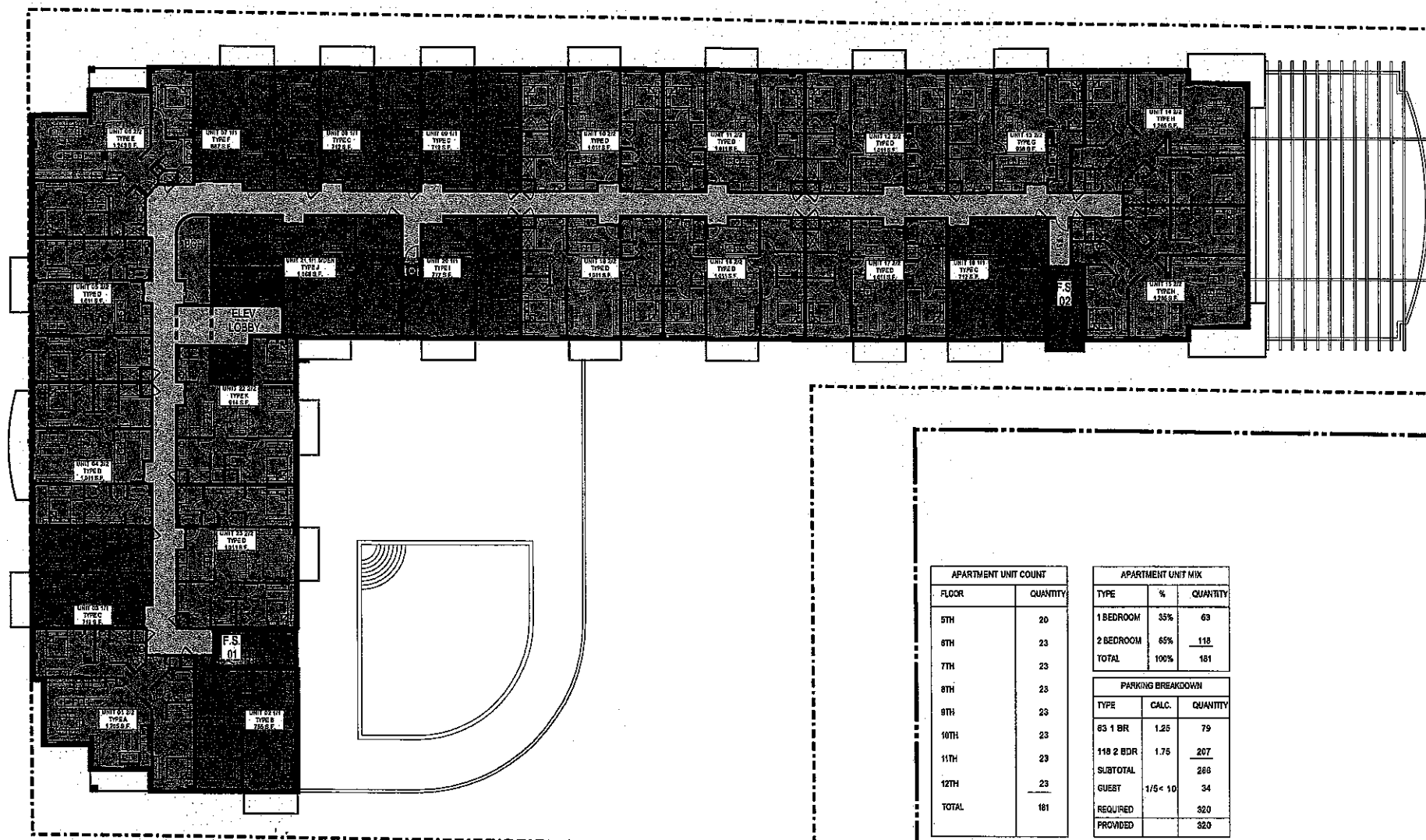
REVISIONS:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PROJECT NAME:  
**PARCO MARE**  
**APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
 460 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33004

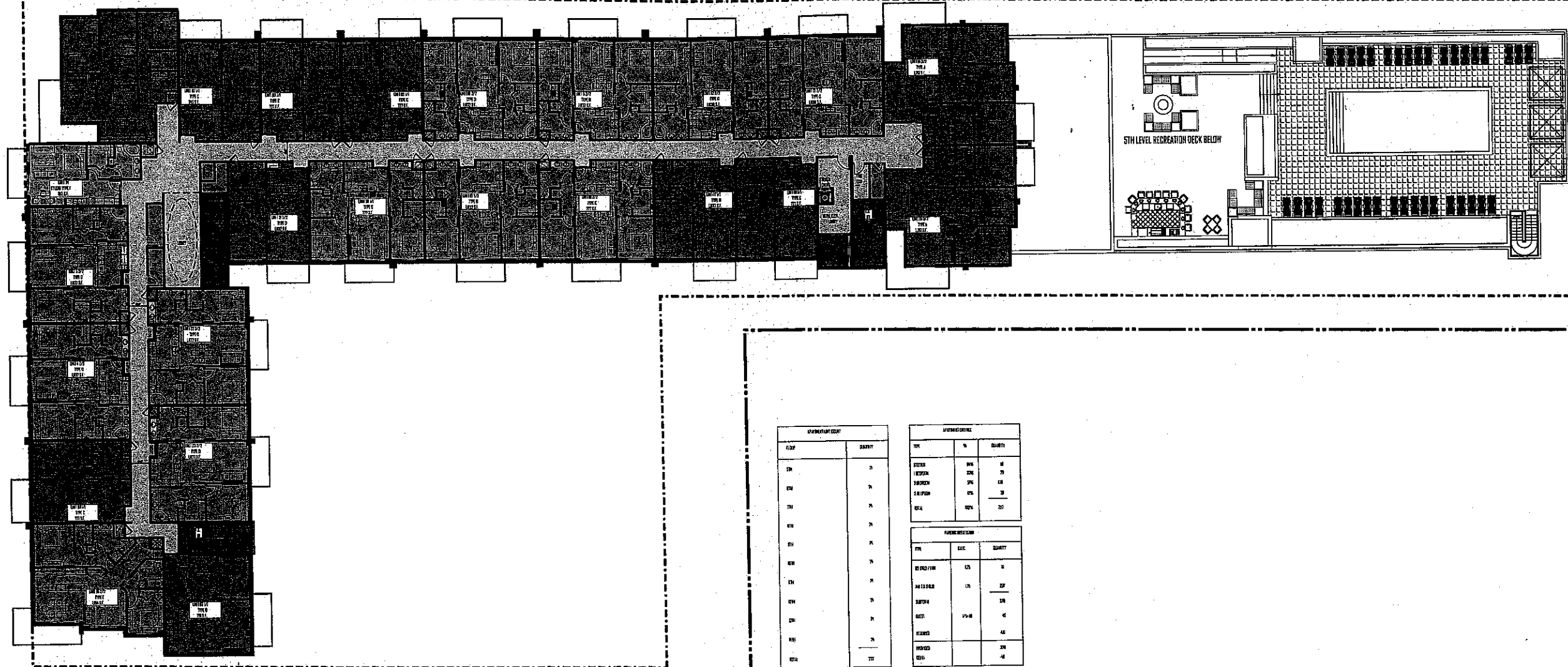
COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
 PREVIOUSLY APPROVED  
 6TH - 12TH FLOOR PLANS - APARTMENT LEVELS  
 SHEET NO. **A-1.3**



APARTMENT UNIT COUNT		APARTMENT UNIT MIX		
FLOOR	QUANTITY	TYPE	%	QUANTITY
5TH	20	1 BEDROOM	33%	63
6TH	23	2 BEDROOM	65%	118
7TH	23	TOTAL	100%	181
8TH	23	PARKING BREAKDOWN		
9TH	23	TYPE	CALC.	QUANTITY
10TH	23	83 1 BR	1.25	79
11TH	23	118 2 BDR	1.75	207
12TH	23	SUBTOTAL		286
TOTAL	181	GUEST	1/5 x 10	34
		REQUIRED		320
		PROVIDED		320





APARTMENT COUNT		APARTMENT TYPE		
FLOOR	QUANTITY	TYPE	%	QUANTITY
6TH	24	STUDIO	8%	2
6TH	24	1 BEDROOM	29%	7
6TH	24	2 BEDROOM	3%	1
6TH	24	3 BEDROOM	6%	1
6TH	24	4 BEDROOM	54%	13
6TH	24	5 BEDROOM	4%	1
7TH	24	STUDIO	8%	2
7TH	24	1 BEDROOM	29%	7
7TH	24	2 BEDROOM	3%	1
7TH	24	3 BEDROOM	6%	1
7TH	24	4 BEDROOM	54%	13
7TH	24	5 BEDROOM	4%	1
8TH	24	STUDIO	8%	2
8TH	24	1 BEDROOM	29%	7
8TH	24	2 BEDROOM	3%	1
8TH	24	3 BEDROOM	6%	1
8TH	24	4 BEDROOM	54%	13
8TH	24	5 BEDROOM	4%	1
9TH	24	STUDIO	8%	2
9TH	24	1 BEDROOM	29%	7
9TH	24	2 BEDROOM	3%	1
9TH	24	3 BEDROOM	6%	1
9TH	24	4 BEDROOM	54%	13
9TH	24	5 BEDROOM	4%	1
10TH	24	STUDIO	8%	2
10TH	24	1 BEDROOM	29%	7
10TH	24	2 BEDROOM	3%	1
10TH	24	3 BEDROOM	6%	1
10TH	24	4 BEDROOM	54%	13
10TH	24	5 BEDROOM	4%	1
11TH	24	STUDIO	8%	2
11TH	24	1 BEDROOM	29%	7
11TH	24	2 BEDROOM	3%	1
11TH	24	3 BEDROOM	6%	1
11TH	24	4 BEDROOM	54%	13
11TH	24	5 BEDROOM	4%	1
12TH	24	STUDIO	8%	2
12TH	24	1 BEDROOM	29%	7
12TH	24	2 BEDROOM	3%	1
12TH	24	3 BEDROOM	6%	1
12TH	24	4 BEDROOM	54%	13
12TH	24	5 BEDROOM	4%	1
13TH	24	STUDIO	8%	2
13TH	24	1 BEDROOM	29%	7
13TH	24	2 BEDROOM	3%	1
13TH	24	3 BEDROOM	6%	1
13TH	24	4 BEDROOM	54%	13
13TH	24	5 BEDROOM	4%	1
14TH	24	STUDIO	8%	2
14TH	24	1 BEDROOM	29%	7
14TH	24	2 BEDROOM	3%	1
14TH	24	3 BEDROOM	6%	1
14TH	24	4 BEDROOM	54%	13
14TH	24	5 BEDROOM	4%	1



**RILEA GROUP**  
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Phone: (305) 371-5254 Fax: (305) 371-4524



**BERMELLO A. JAMIL & PARTNERS INC.**  
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Design Landscape Architecture  
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FORT LAUDERDALE, FL 33311  
Phone: (954) 777-3125 FAX (954) 777-3114  
Certificate of Auth. # 7097



**TODD D. OSBORN, R.A.**  
FL ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
UPDATED PER DRC SEPT. 2014

REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PROJECT NAME:  
██████████  
████████████████████  
████████████████████

PROJECT ADDRESS:  
460 EAST SHAW BLVD. SUITE 1000  
FORT LAUDERDALE, FL 33304

COMM. NO. \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**UPDATED  
6TH - 14TH FLOOR  
PLANS - APARTMENT  
LEVELS**  
SHEET NO. **A-1.3A**







1 NORTH ELEVATION  
A-20 SCALE: 1/8" = 1'-0"

NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPES DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING



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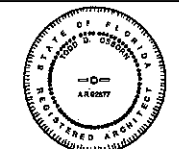


**BERMELLO A. JAMIL & PARTNERS INC.**  
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FL. ARCHITECT REG. NO. 92877

**SITE PLAN**  
REVISION  
AUGUST 2014

REVISIONS:


PROJECT NAME:  
**PARCO MARE**  
**APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
400 EAST DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33004

COMM. NO. \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**PREVIOUSLY**  
**APPROVED**  
**NORTH**  
**ELEVATION**  
SHEET NO.  
**A-2.0**



**RILEA GROUP**  
 1000 BRICKELL AVENUE, SUITE 1015  
 MIAMI, FL 33131  
 Phone: (305) 371-9254 Fax: (305) 371-4626



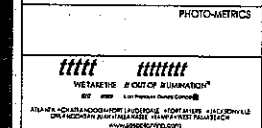
**BERMELLO AJAMIL & PARTNERS INC**  
 Architecture Engineering Planning Interior Design Landscape Architecture  
 1 EAST BROWARD BLVD, SUITE 800  
 FORT LAUDERDALE, FL 33301  
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 MIAMI, FLORIDA 33165  
 Phone: (305) 551-1262 Fax: (305) 553-2088



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 FORT LAUDERDALE, FL 33311  
 Phone: (954) 777-3123 FAX: (954) 777-3114  
 Certificate of Auth. # 7097



**TODD D. OSBORN, R.A.**  
 FL. ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
 UPDATED PER DRC OCT. 2014

REVISIONS:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
 DANIA BEACH, FLORIDA

PROJECT ADDRESS:  
 400 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33424

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**UPDATED NORTH ELEVATION**

SHEET NO. **A-2.0A**

MEAN SEA LEVEL  
 HEAVY + 0.0' N.G.V.D.  
 E EDGE

20' WIDE FIRE / SERVICE DRIVE AROUND STRUCTURE

VEHICULAR MAIN ENTRY INTO BUILDING

ARCADÉ / COVERED LOGGIA ALONG NORTH ELEVATION FACING DANIA BEACH BOULEVARD

VEHICULAR MAIN EXIT OUT OF BUILDING

20' WIDE FIRE / SERVICE DRIVE AROUND STRUCTURE

EXISTING HEAVY LANDSCAPE EDGE

**1 NORTH ELEVATION**  
 A-2.0A

NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPES DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING



**1 WEST ELEVATION**  
A-17 SCALE: 1/16" = 1'-0"

NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPES DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING



**2 EAST ELEVATION**  
A-21 SCALE: 1/16" = 1'-0"

NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPES DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING



**RILEA GROUP**  
1600 BRICKELL AVENUE, SUITE 1015  
MIAMI, FL 33131  
Phone: (305) 371-5254 Fax: (305) 371-4828



**BERMELLO AJAMIL & PARTNERS INC.**  
Architecture Engineering Planning Interior Design Landscape Architecture  
1 EAST BROWARD BLVD. SUITE 800  
FORT LAUDERDALE, FL 33301  
Phone: (954) 457-1113 Fax: (954) 457-1116  
CERT. OF ARCHITECTURE NO. 14,300 FL. ARCH. REG. NO. 14,300



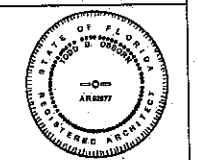
**MARIANO CORRAL**  
LANDSCAPE ARCHITECT  
3201 SW 100TH COURT  
MIAMI, FLORIDA 33155  
Phone: (305) 551-1292 Fax: (305) 553-2088



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TODD D. OSBORN, R.A.  
FL. ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
AUGUST 2014

REVISIONS:

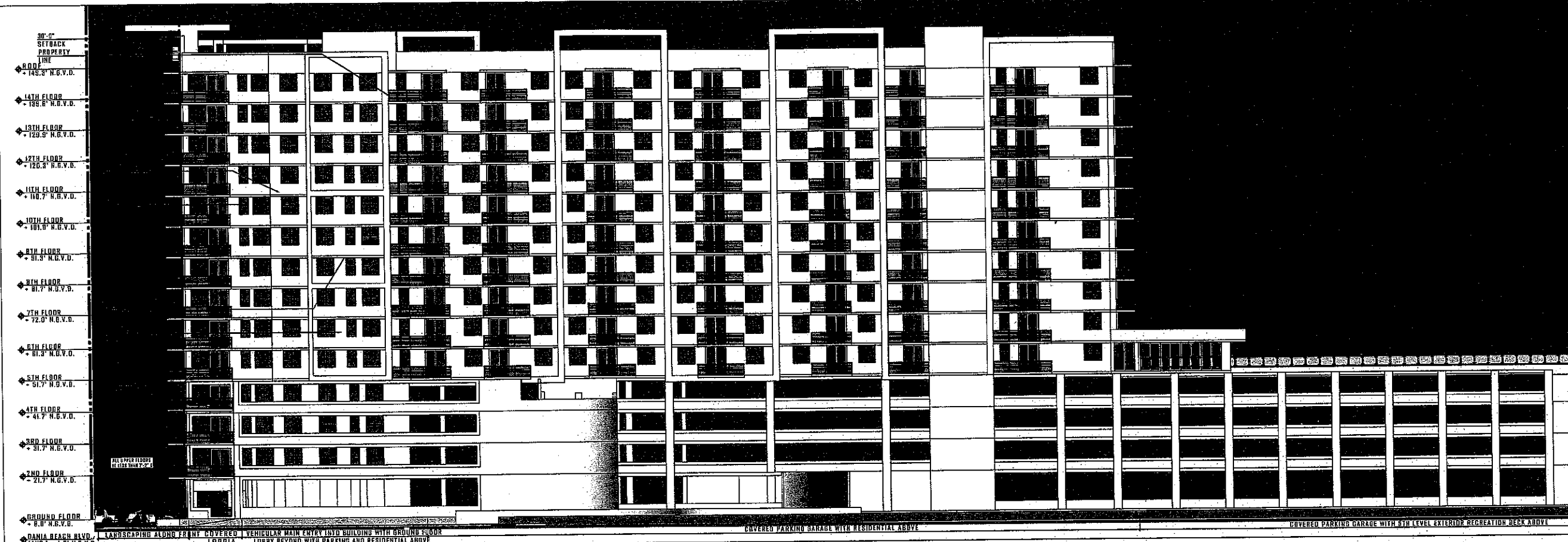

PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
485 EAST DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33024

COMM. NO. \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
CADD FILE: \_\_\_\_\_

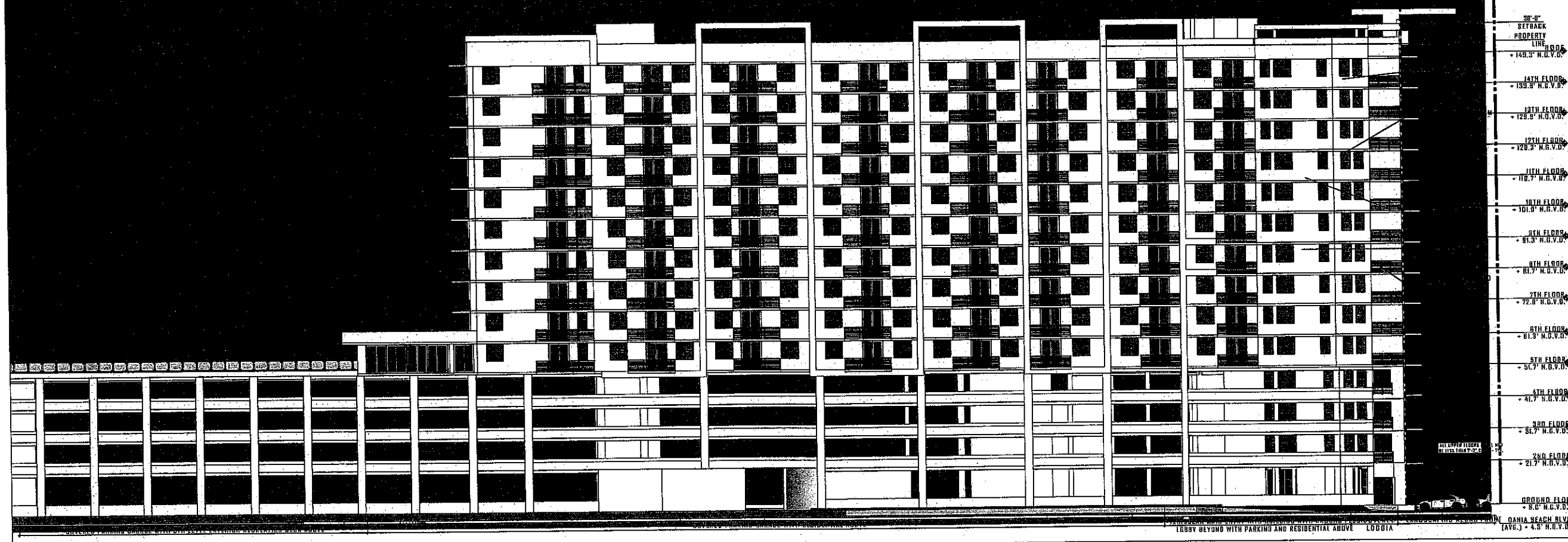
DRAWING TITLE:  
**PREVIOUSLY APPROVED EAST AND WEST ELEVATIONS**

SHEET NO. **A-2.1**



NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPES DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING

1 WEST ELEVATION  
A-17A



NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPES DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING

2 EAST ELEVATION  
A-21A

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**REGISTERED PROFESSIONAL ENGINEER**  
  
 TODD D. OSBORN, R.A.  
 FL ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
 UPDATED PER DRC OCT. 2014

**REVISIONS:**

**PROJECT NAME:**  
 PARCO MARE APARTMENT PROJECT  
 DANIA BEACH, FLORIDA

**PROJECT ADDRESS:**  
 400 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33004

**COMM. NO.:** \_\_\_\_\_  
**SCALE:** \_\_\_\_\_  
**DATE:** \_\_\_\_\_  
**DRAWN:** \_\_\_\_\_  
**CHECKED:** \_\_\_\_\_  
**CADD FILE:** \_\_\_\_\_

**DRAWING TITLE:**  
 UPDATED EAST AND WEST ELEVATIONS

**SHEET NO.**  
 A-2.1A



**RILEA GROUP**  
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**MARIANO CORRAL**  
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 FL ARCHITECT REG. NO. 82877

**SITE PLAN REVISION**  
 AUGUST 2014

REVISIONS:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
 410 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33004

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**PREVIOUSLY APPROVED SOUTH ELEVATION**  
 SHEET NO. **A-2.2**

**1 NORTH ELEVATION**  
 A-20 SCALE: 1/8" = 1'-0"

NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPES DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING



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CITY OF AUTHORIZATION 4420 A.P.C.A. NO. 1.E. 14422212

LANDSCAPE ARCHITECTURE



MARIANO CORRAL  
LANDSCAPE ARCHITECT  
3001 SW 109TH COURT  
MIAMI, FLORIDA 33165  
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FL. ARCHITECT REG. NO. 92877

SITE PLAN  
REVISION  
UPDATED PER DRC OCT. 2014

REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PROJECT NAME:  
PARCO MARE  
APARTMENT PROJECT  
DANIA BEACH, FLORIDA

PROJECT ADDRESS:  
481 EAST DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33004

COMM. NO. \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
UPDATED  
SOUTH  
ELEVATION

SHEET NO.  
A-2.2A

EXISTING HEAVY LANDSCAPE EDGE 20' WIDE FIRE / SERVICE DRIVE AROUND STRUCTURE SERVICE AREA, PARKING GARAGE AND RESIDENTIAL UNITS ABOVE PARKING GARAGE WITH 5TH FLOOR RECREATION DECK AND RESIDENTIAL UNITS ABOVE 20' WIDE FIRE / SERVICE DRIVE AROUND STRUCTURE MEAN SEA LEVEL + 0.0' N.G.V.D. NEW LAND

1 NORTH ELEVATION  
A-20A

NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPES DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING



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 1000 BRICKELL AVENUE, SUITE 1015  
 MIAMI, FL 33131  
 Phone: (305) 371-5234 Fax: (305) 371-4828



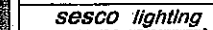
**BERMELLO AJAMIL & PARTNERS INC**  
 Architecture Engineering Planning Interior  
 Design Landscape Architecture  
 1 EAST BROWARD BLVD, SUITE 800  
 FORT LAUDERDALE, FL 33301  
 Phone: (954) 487-1118 Fax: (954) 487-1118  
 CERT. OF AUTHORIZATION #004 FL ARCH. BOARD #18022611



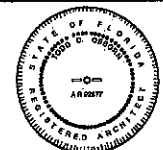
**MARIANO CORRAL**  
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 3001 SW 109TH COURT  
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**SITE PLAN REVISION**  
 AUGUST 2014

REVISIONS:


PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
 460 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33004

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**PREVIOUSLY APPROVED PERSPECTIVE VIEW FROM DANIA BEACH BOULEVARD**

SHEET NO.  
**A-3.0**

**1 PERSPECTIVE VIEW FROM DANIA BEACH BOULEVARD**  
 A-3.0 SCALE: N.T.S.







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 1900 BRICKELL AVENUE, SUITE 1010  
 MIAMI, FL 33131  
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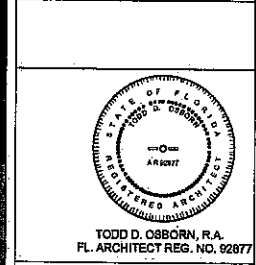
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 AUGUST 2014

REVISIONS:

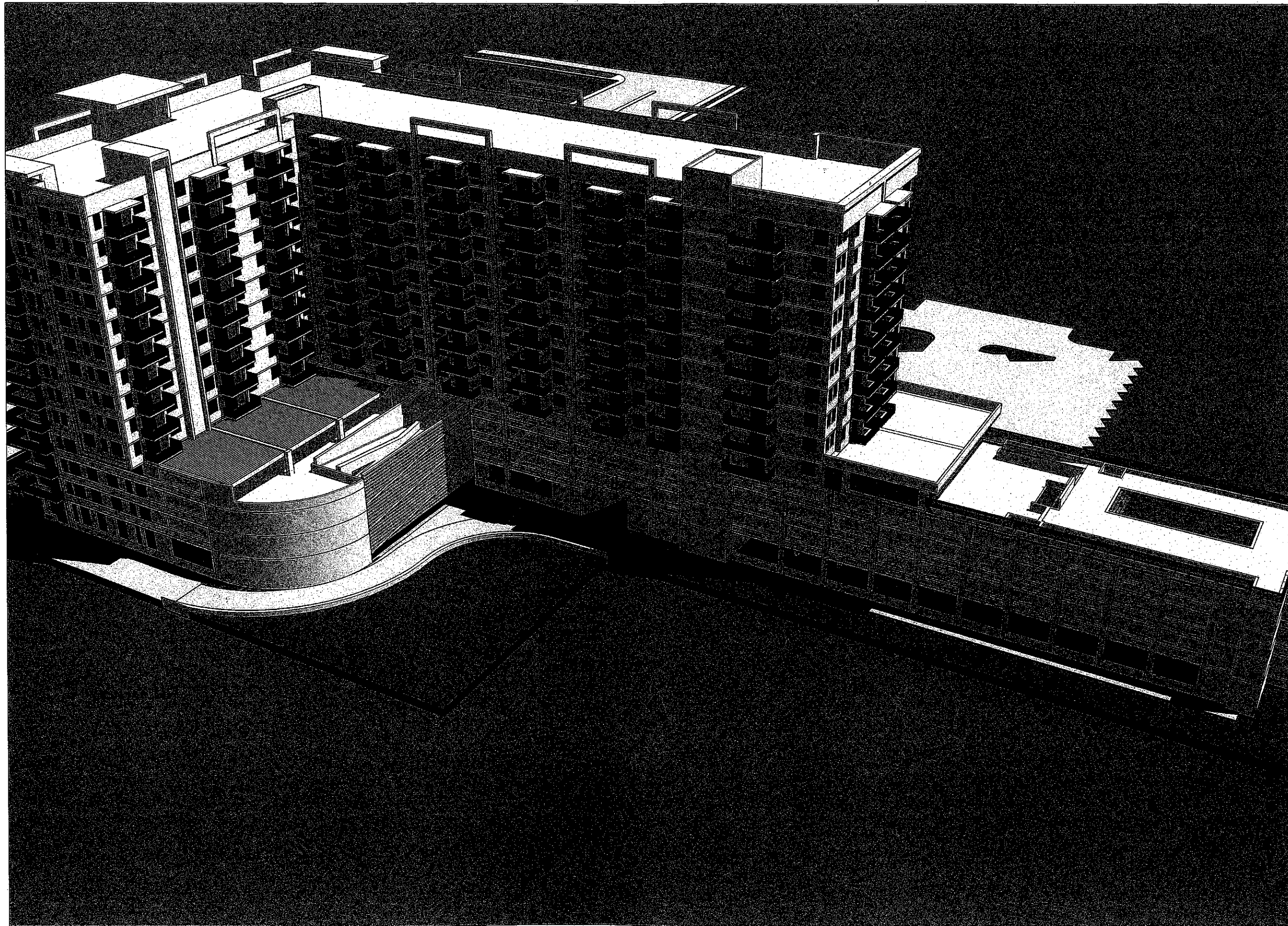

PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
 485 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33005

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**PREVIOUSLY APPROVED PERSPECTIVE VIEW**  
 SHEET NO. **A-3.1**

**1 PERSPECTIVE VIEW**  
 A-31 SCALE: NTS



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CERT. OF AUTHORIZATION #2001 FL ARCH. REG. NO. 92877

LANDSCAPE ARCHITECTURE

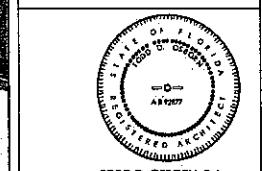
**MC**  
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 FL ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
 UPDATED PER DRC SEPT. 2014

REVISIONS:


PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
 DANIA BEACH, FLORIDA

PROJECT ADDRESS:  
 400 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33004

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**UPDATED PERSPECTIVE VIEW**

SHEET NO. **A-3.1A**



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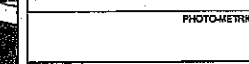
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 CIVIL ARCHITECTURE



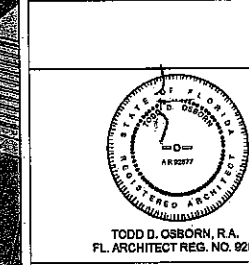
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**SITE PLAN REVISION**  
 AUGUST 2014

REVISIONS:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
 480 EAST DANA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33004

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**PREVIOUSLY APPROVED**  
**PERSPECTIVE**  
**VIEW OF ENTRY**  
**PLAZA**  
 SHEET NO. **A-3.2**

**1 PERSPECTIVE VIEW OF ENTRY PLAZA**  
 A-32 SCALE: NTS







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 Phone: (954) 467-1113 Fax: (954) 467-1116  
 CDT OF ARCHITECTURE PLAN ARCHITECTURE

LANDSCAPE ARCHITECTURE

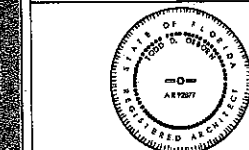
**MC**  
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 FL. ARCHITECT REG. NO. 92877

**SITE PLAN REVISION**  
 UPDATED PER DRC SEPT. 2014

REVISIONS:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
 DANIA BEACH, FLORIDA

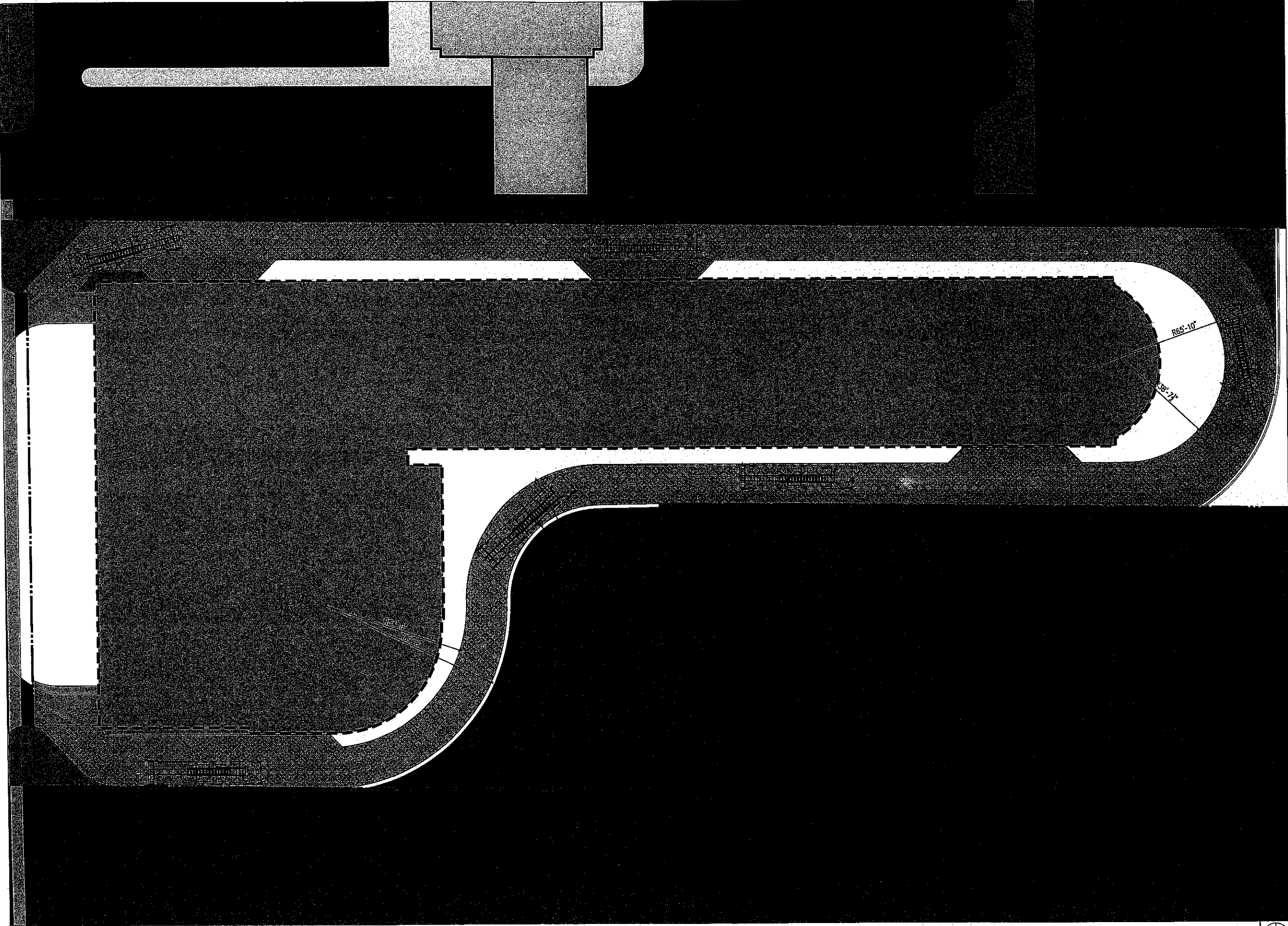
PROJECT ADDRESS:  
 400 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33428

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**UPDATED PERSPECTIVE VIEW OF ENTRY AND PLAZA**  
 SHEET NO. **A-3.3A**

1 UPDATED PERSPECTIVE VIEW OF ENTRY AND PLAZA

NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPES DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING



**RILEA GROUP**  
 1000 BRICKELL AVENUE, SUITE 1815  
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 FORT LAUDERDALE, FL 33316  
 Phone: (954) 457-1113 Fax: (954) 457-1116  
STATE OF FLORIDA ARCHITECTURE REG. NO. 120000012

LANDSCAPE ARCHITECTURE

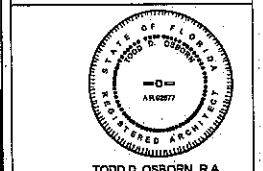
**MC**  
**MARIANO CORRAL**  
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 3001 SW 106TH COURT  
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**SITE PLAN REVISION**  
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REVISIONS:  
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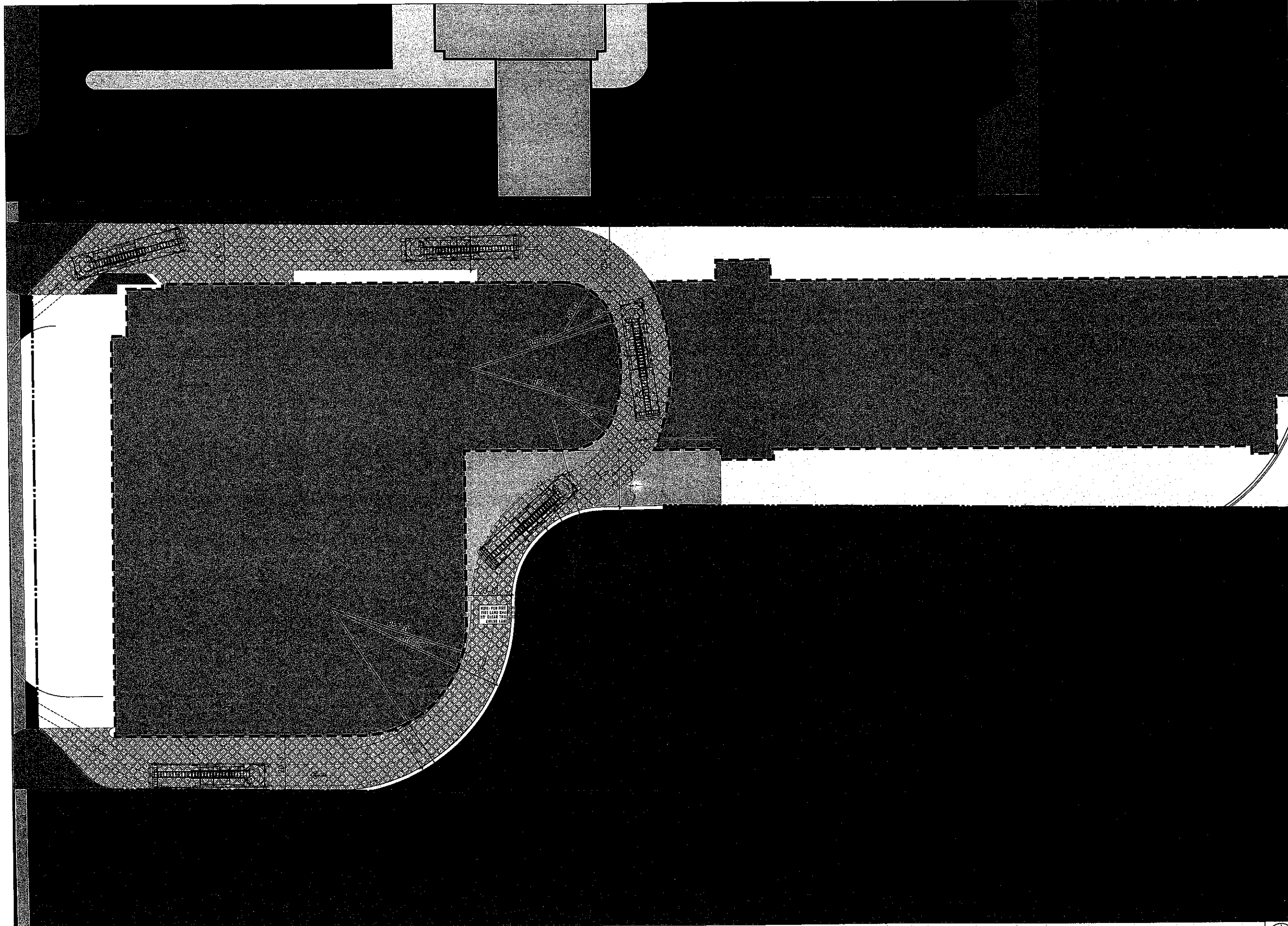
PROJECT NAME:  
**PARCO MARE APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
 435 EAST DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33009

COMM. NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CADD FILE: \_\_\_\_\_

DRAWING TITLE:  
**PREVIOUSLY APPROVED**  
**GROUND FLOOR**  
**PLAN - FIRE LANE &**  
**TRUCK ROUTE**  
 SHEET NO. **A-4.0**





**OWNERSHIP**

**RG**

**RILEA GROUP**  
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**ARCHITECTURE / PLANNING**

**ba**

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CDP OF ARCHITECTURE REG. FL. ARCH. REG. NO. 14022012

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**LANDSCAPE ARCHITECTURE**

**MC**

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**BOARD OF REGISTERED ARCHITECTS**  
 REGISTERED ARCHITECT  
 AS 70277

**TODD D. OSBORN, R.A.**  
 FL. ARCHITECT REG. NO. 92877

---

**SITE PLAN REVISION**  
 UPDATED PER DRC OCT. 2014

---

**REVISIONS:**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

---

**PROJECT NAME:**  
**PARCO MARE APARTMENT PROJECT**  
**DANIA BEACH, FLORIDA**

**PROJECT ADDRESS:**  
4800 DANIA BEACH BOULEVARD  
 DANIA BEACH, FLORIDA 33004

---

**COMM. NO.:** \_\_\_\_\_

**SCALE:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

**DRAWN:** \_\_\_\_\_

**CHECKED:** \_\_\_\_\_

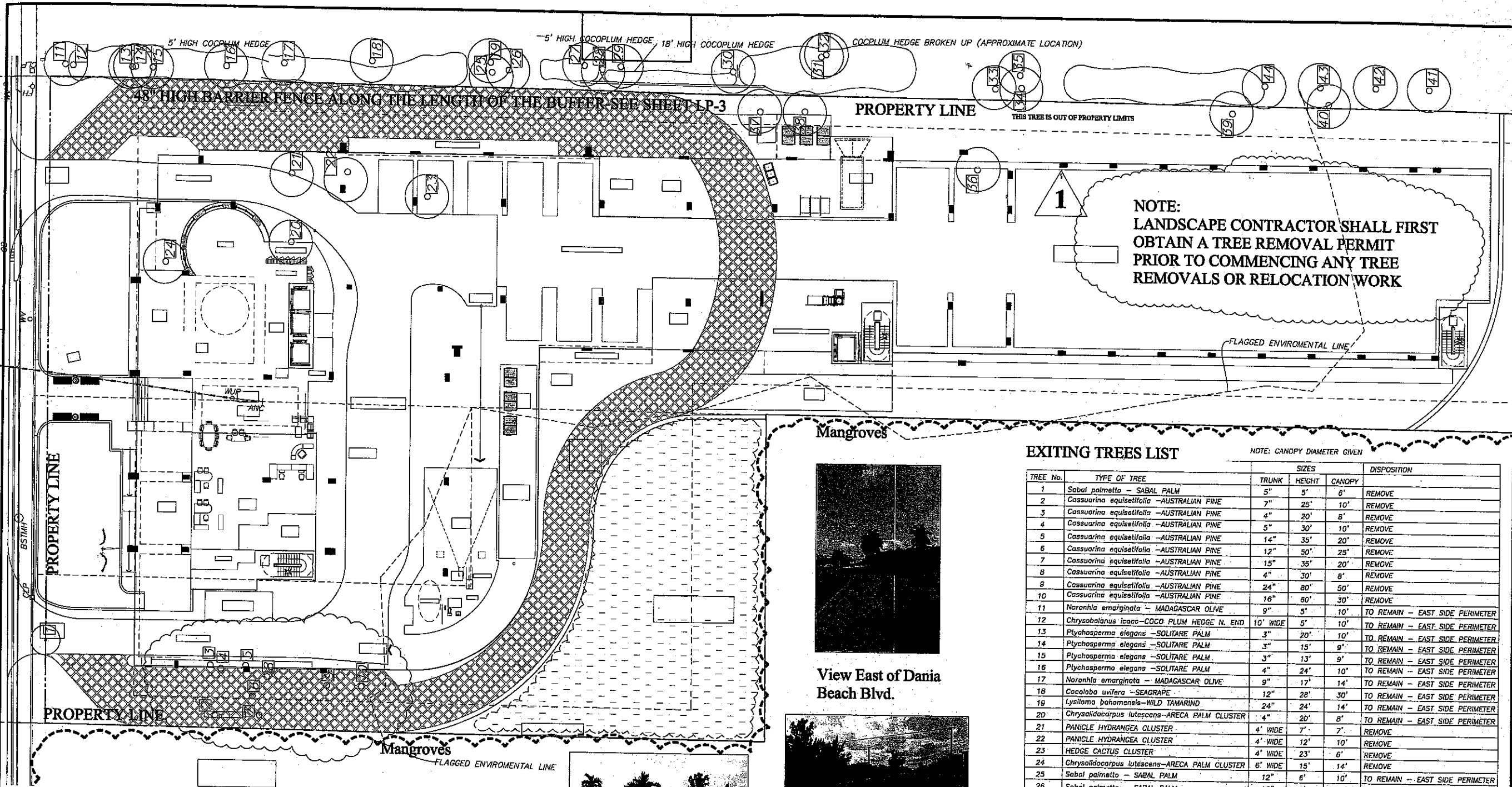
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**DRAWING TITLE:**  
**UPDATED GROUND FLOOR PLAN - FIRE LANE & TRUCK ROUTE**  
 SHEET NO. **A-4.0A**





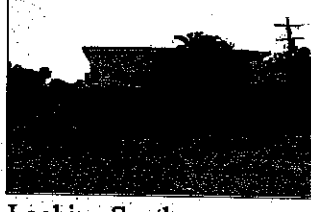


**EXISTING LANDSCAPE OVER PROPOSED DEVELOPMENT PLAN**

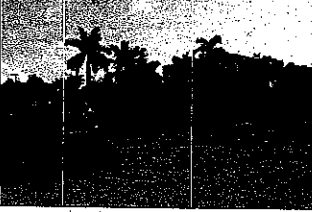
SCALE: 1/16"=1'-0"



West View-You can see Sabal Palm -#1 and the Australian Pines-#2-10 on tree list



Looking South at Front of Property Area Palm Cluster #24



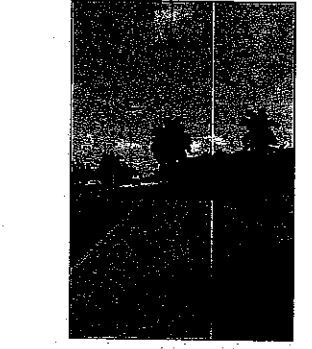
Looking South-East at existing Banke Buffer to remain and protect.



View West from Bank side of East side:Property of buffer to protect.



West View of Dania Beach Blvd.



View East of Dania Beach Blvd.

**EXITING TREES LIST**

NOTE: CANOPY DIAMETER GIVEN

TREE No.	TYPE OF TREE	TRUNK	HEIGHT	CANOPY	DISPOSITION
1	Sabal palmetto - SABAL PALM	5"	5'	6'	REMOVE
2	Cassuarina equisetifolia -AUSTRALIAN PINE	7"	25'	10'	REMOVE
3	Cassuarina equisetifolia -AUSTRALIAN PINE	4"	20'	8'	REMOVE
4	Cassuarina equisetifolia -AUSTRALIAN PINE	5"	30'	10'	REMOVE
5	Cassuarina equisetifolia -AUSTRALIAN PINE	14"	35'	20'	REMOVE
6	Cassuarina equisetifolia -AUSTRALIAN PINE	12"	50'	25'	REMOVE
7	Cassuarina equisetifolia -AUSTRALIAN PINE	15"	35'	20'	REMOVE
8	Cassuarina equisetifolia -AUSTRALIAN PINE	4"	30'	8'	REMOVE
9	Cassuarina equisetifolia -AUSTRALIAN PINE	24"	80'	50'	REMOVE
10	Cassuarina equisetifolia -AUSTRALIAN PINE	16"	60'	30'	REMOVE
11	Noranthia emarginata - MADAGASCAR OLIVE	9"	5'	10'	TO REMAIN - EAST SIDE PERIMETER
12	Chrysobalanus icaco-COCO PLUM HEDGE N. END	10' WIDE	5'	10'	TO REMAIN - EAST SIDE PERIMETER
13	Ptychosperma elegans -SOLITARE PALM	3"	20'	10'	TO REMAIN - EAST SIDE PERIMETER
14	Ptychosperma elegans -SOLITARE PALM	3"	15'	9'	TO REMAIN - EAST SIDE PERIMETER
15	Ptychosperma elegans -SOLITARE PALM	3"	13'	9'	TO REMAIN - EAST SIDE PERIMETER
16	Ptychosperma elegans -SOLITARE PALM	4"	24'	10'	TO REMAIN - EAST SIDE PERIMETER
17	Noranthia emarginata - MADAGASCAR OLIVE	9"	17'	14'	TO REMAIN - EAST SIDE PERIMETER
18	Coccoloba uvifera -SEAGRAPE	12"	28'	30'	TO REMAIN - EAST SIDE PERIMETER
19	Lysiloma bahamensis-WILD TAMARIND	24"	24'	14'	TO REMAIN - EAST SIDE PERIMETER
20	Chrysalidocarpus lutescens-ARECA PALM CLUSTER	4"	20'	8'	TO REMAIN - EAST SIDE PERIMETER
21	PANICLE HYDRANGEA CLUSTER	4' WIDE	7'	7'	REMOVE
22	PANICLE HYDRANGEA CLUSTER	4' WIDE	12'	10'	REMOVE
23	HEDGE CACTUS CLUSTER	4' WIDE	23'	6'	REMOVE
24	Chrysalidocarpus lutescens-ARECA PALM CLUSTER	6' WIDE	15'	14'	REMOVE
25	Sabal palmetto - SABAL PALM	12"	6'	10'	TO REMAIN - EAST SIDE PERIMETER
26	Sabal palmetto - SABAL PALM	12"	6'	10'	TO REMAIN - EAST SIDE PERIMETER
27	Sabal palmetto - SABAL PALM	7"	21'	10'	TO REMAIN - EAST SIDE PERIMETER
28	Sabal palmetto - SABAL PALM	9"	25'	10'	TO REMAIN - EAST SIDE PERIMETER
29	Sabal palmetto - SABAL PALM	8"	24'	10'	TO REMAIN - EAST SIDE PERIMETER
30	PALM CLUSTER	6' WIDE	18'	15'	TO REMAIN - EAST SIDE PERIMETER
31	Ptychosperma elegans -SOLITARE PALM	2"	5'	6'	TO REMAIN - EAST SIDE PERIMETER
32	Ptychosperma elegans -SOLITARE PALM	3"	7'	8'	TO REMAIN - EAST SIDE PERIMETER
33	Cicus aurea - STRANGLER FIG	5"	18'	8'	TO REMAIN - EAST SIDE PERIMETER
34	Bryassia actinophylla - SCHEFFLERA	4"	21'	6'	TO REMAIN - OUT OF PROPERTY LIMITS
35	Lysiloma bahamensis-WILD TAMARIND	24"	22'	24'	TO REMAIN - EAST SIDE PERIMETER
36	Mangifera indica -MANGO - LEANING FROM STORM	18"	20'	20'	REMOVE
37	BANANA TREE CLUSTER N. END	6' WIDE	8'	10'	REMOVE
38	BANANA TREE CLUSTER S. END	6' WIDE	8'	10'	REMOVE
39	PALM CLUSTER	3' WIDE	16'	8'	REMOVE
40	Cassuarina equisetifolia -AUSTRALIAN PINE	3"	15'	8'	REMOVE
41	Noranthia emarginata - MADAGASCAR OLIVE	3"	5'	5'	TO REMAIN - EAST SIDE PERIMETER
42	Noranthia emarginata - MADAGASCAR OLIVE	3"	9'	7'	TO REMAIN - EAST SIDE PERIMETER
43	Noranthia emarginata - MADAGASCAR OLIVE	2"	5'	3'	TO REMAIN - EAST SIDE PERIMETER
44	Noranthia emarginata - MADAGASCAR OLIVE	2"	6'	4'	TO REMAIN - EAST SIDE PERIMETER

**MC**  
Mariano Corral  
Landscape Architect  
Landscape Architecture  
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Civil Planning  
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ASSOCIATED WITH  
CBI CHI RODRIGUEZ  
REALTOR/REAL ESTATE

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**PARCO MARE APARTMENTS**  
400 East Dania Beach Blvd.  
Dania Beach, Florida

SCALE:  
**AS SHOWN**

PROJECT NUMBER  
**04-2014-R**

DATE:  
**09-05-14**

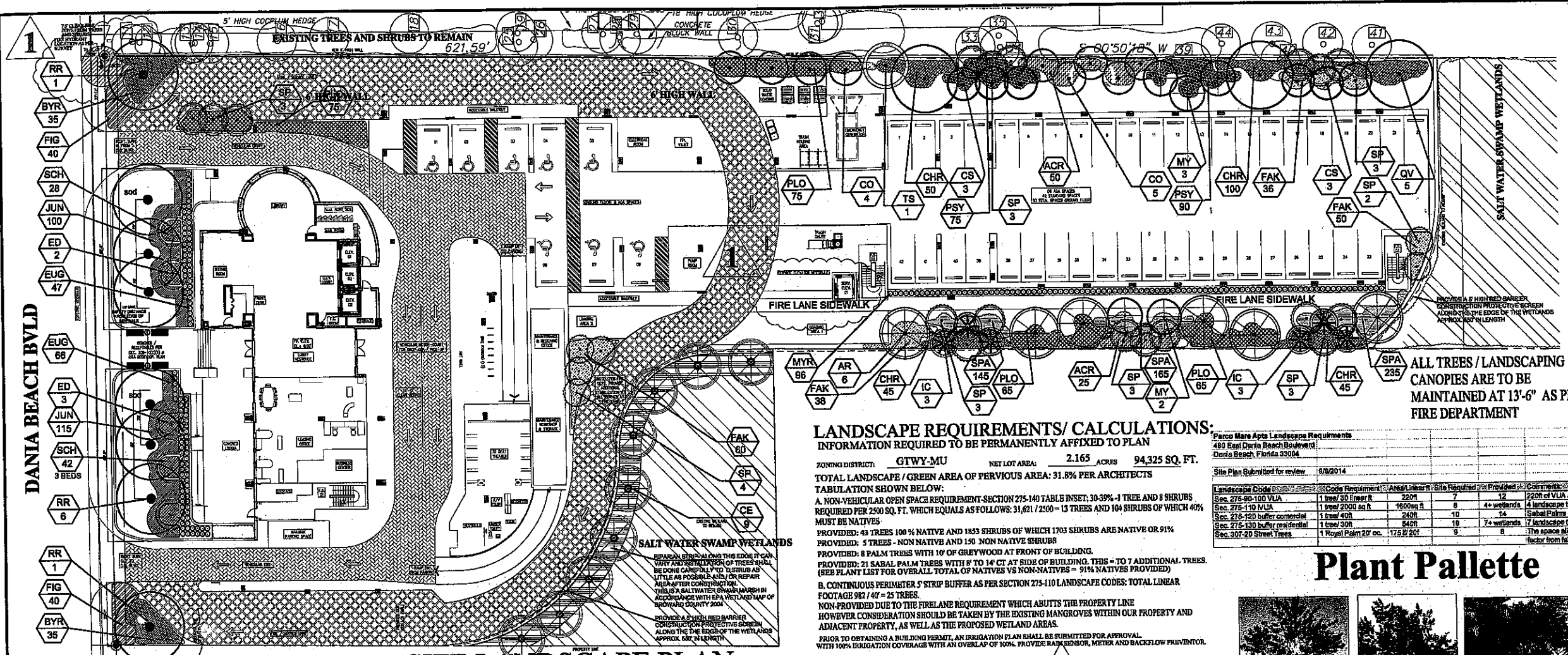
REVISIONS:  
09-05-14  
CORRECTIONS MADE PER  
PER CITY LANDSCAPE  
REVIEWER AND FIRE  
DEPT.

LIC # LA 6666671

SHEET NUMBER:  
**TD-1**

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DANIA BEACH BLVD

**SITE LANDSCAPE PLAN**  
SCALE: 1"=20'-0"

**LANDSCAPE REQUIREMENTS/ CALCULATIONS:**  
INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLAN

ZONING DISTRICT: GTWY-MU NET LOT AREA: 2.165 ACRES 94,325 SQ. FT.  
TOTAL LANDSCAPE / GREEN AREA OF SECTION: 31.8% PER ARCHITECTS  
TABULATION SHOWN BELOW:  
A. NON-VEHICULAR OPEN SPACE REQUIREMENT SECTION 275-140 TABLE INSET: 30-30% - 1 TREE AND 4 SHRUBS REQUIRED PER 2500 SQ. FT. WHICH EQUATES AS FOLLOWS: 31,621 / 2500 = 13 TREES AND 104 SHRUBS OF WHICH 40% MUST BE NATIVES  
PROVIDED: 49 TREES 100% NATIVE AND 1853 SHRUBS OF WHICH 1703 SHRUBS ARE NATIVE OR 91%  
PROVIDED: 3 TREES - NON NATIVE AND 1500 NON NATIVE SHRUBS  
PROVIDED: 8 PALM TREES WITH 10' OF GREYWOOD AT FRONT OF BUILDING  
PROVIDED: 21 SABAL PALM TREES WITH 10' TO 14' CT AT SIDE OF BUILDING. THIS - TO 1 ADDITIONAL TREES (SEE PLANT LIST FOR OVERALL TOTAL OF NATIVES VS NON-NATIVES = 91% NATIVES PROVIDED)  
B. CONTINUOUS PERIMETER 5' STRIP BUFFER AS PER SECTION 275-110 LANDSCAPE CODES: TOTAL LINEAR FOOTAGE 962' 47" = 25 TREES  
NON-PROVIDED DUE TO THE FIRELANE REQUIREMENT WHICH ABUTS THE PROPERTY LINE HOWEVER CONSIDERATION SHOULD BE TAKEN BY THE EXISTING MANGROVES WITHIN OUR PROPERTY AND ADJACENT PROPERTY, AS WELL AS THE PROPOSED WETLAND AREA.  
PRIOR TO OBTAINING A BUILDING PERMIT, AN IRRIGATION PLAN SHALL BE SUBMITTED FOR APPROVAL WITH 100% IRRIGATION COVERAGE WITH AN OVERLAP OF 100%. PROVIDE RAISIN SENSOR, METER AND BACKFLOW PREVENTER.

ALL TREES / LANDSCAPING CANOPIES ARE TO BE MAINTAINED AT 13'-6" AS PER FIRE DEPARTMENT

**Plant Palette**

(AR) RED MAPLE  
(MY) SIMPSON STOPPER TREE  
(ED) JAPANESE BLUEBERRY TREE  
(SP) SABAL PALM  
(BYR) LOCUSTBERRY  
(CHR) COCOPLUM  
(QV) LIVE OAK  
(CS) SILVER BUTTON WOOD  
(PLO) WART FERN  
(BUG) EUGENIA  
(FIG) GREEN ISLAND FICUS  
(JUN) PARSONS JUNIPER  
(SCH) DWARF SHEFFLERA

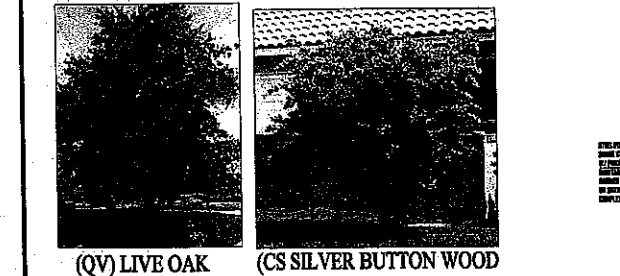
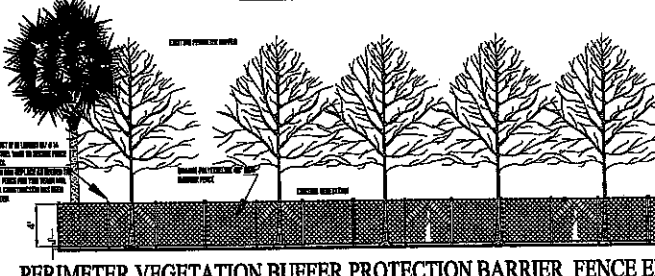
- PAGE TWO DANIA BEACH NOTES**
- A pre-construction meeting with the Dania Beach City Arborist is required prior to landscaping activities including removal of trees and/or installation of plant material. Call 954-255-5088 a minimum of 5 days prior to desired start date to schedule pre-construction meeting.
  - All existing trees proposed to remain are to be separated from the limits of disturbance of the construction area by tree protection fencing and signage. The tree protection fencing shall be located at the edge of the tree protection zone as depicted on the plan or at the edge of the drip-line(s) if a tree protection zone is not designated. No material storage or construction access is permitted within the tree protection zone.
  - All existing trees shall be pruned to ANSI A-300 standards to correct potential hazards.
  - A tree removal permit is required prior to removal or relocation of any tree or palm. Contact the Dania Beach City Arborist at 654-924-6805 to obtain permit information.
  - Landscape contractor shall notify Suntime One Call of Florida, Inc. at 1-800-432-4770 a minimum of 2 full business days prior to digging. Landscape contractor is responsible for avoiding damage to utilities from plant installation.
  - Tree relocation:
    - Existing trees to be relocated shall be root pruned a minimum of 120 days prior to relocation
    - Minimum root ball sizes shall be in accordance with ANSI standards as follows:  

Caliper	Minimum Root Ball Diameter
1	18
2	24
3	30
4	42
5	54
6	60
7	70
8	84
> 8	12 inches per inch of trunk diameter

 Transplanted trees with undamaged root balls may be rejected by the City Arborist and replacement trees may be required.  
 A temporary irrigation system shall be provided during and for the first 40 days after root pruning.
  - All planting must follow planting specifications and details shown on the plan. Substitutions of plant species or specifications must be approved in writing.

**PLANT LIST FOR - PARCO MARE**

KEY QUANT.	BOTANICAL NAMES/COMMON NAMES	HGT	SPR	CALIPER	TYPE	FLOWERS	REPERCUTE REQ.		REMARKS	
							SALT	DROUGHT		
<b>NATIVE PLANTS - TREES AND PALMS</b>										
AR 8	Acer fraxinum / FRAXINUM / NYR Red Maple	16'	8"	3" cal	Medium	None	HIGH	HIGH	FLORIDA #1 MATERIAL Good native tree for buffer and windbreak - variety: Red Leaves, All Color	
CE 8	Conocarpus erectus / Green Buttonwood	14'	6"	2" cal	Med-High	None	HIGH	HIGH	Excellent tree for edge of wetland area	
CO 9	Conocarpus erectus / Silver Buttonwood	12'	5"	1.5" cal	Medium	None	HIGH	HIGH	Good native tree for buffer, wind conditions and all spaces	
CS 0	Quercus laevis / Orange Geiger Tree	12'	5"	1.5" cal	Small-medium	Orange	HIGH	HIGH	Good native tree for color along growth	
CV 0	Cordia alba / Dahoon Holly Tree	14'	5"	2" cal	Small-medium	Red fruit	HIGH	HIGH	Great Native tree - good source for wildlife	
MY 5	Myrsine laevis / Simpson's Stopper	10'	4"	1.5" cal	SMALL-MED	FRUIT	HIGH	HIGH	Tree Form - Wide head - Excellent Native - Large to be found at 10' at installation	
QV 5	Quercus virginiana / Live Oak	12'	5"	2" cal	Large	None	HIGH	HIGH	Excellent shade tree	
SP 5	Sabal palm / Sabal Palm	10'	5"	10' GW	Palm	WPA	HIGH	HIGH	Excellent palm for Street Tree - 10'-12' from road edge	
TR 24	Taxodium distichum / Bay Palm	14'-24'	12"	12" cal	PALM	None	HIGH	HIGH	Food for wildlife and Reptiles - 10' to 12' ct. 10' to 12' ct. 10' to 12' ct.	
YR 1	Yucca glauca / Yellow Elder	12'	5"	1.5" cal	Small	Yellow Flw	Medium	Medium	Excellent for color using native trees in the landscape	
YR 70	Yucca glauca / Yellow Elder	12'	5"	1.5" cal	Small	Yellow Flw	Medium	Medium	Grassous Tree with patches of red flowers - not a native	
ED 5	Edgewood / Edgewood	12'	5"	1.5" cal	Small	None	Medium	Medium	Grassous Tree with patches of red flowers - not a native	
<b>TOTAL TREES INCLUDING PALMS: 31 TREES = 65 TREES ON SITE</b>										
<b>PLANT LIST</b>										
KEY QUANT.	BOTANICAL NAMES/COMMON NAMES	HGT	SPR	Spacing	TEXTURE	Flowers	OP	SALT	DROUGHT	REMARKS
<b>NATIVE PLANTS - SHRUBS AND GROUND COVERS</b>										
ARC 75	Asplenium platyneuron / Giant Leather Fern	30"	21"	4' oc	Coarse	None	HIGH	LOW	HIGH	Long Leaflet 1/2" high spread 5" wide - Excellent for wetland areas
BYR 70	Bursera lucida / Locustberry	24"	20"	30" oc	Medium	Red, yellow	HIGH	HIGH	HIGH	Great native shrub for edge of wetland area
CHR 240	Chrysothamnus parryi / Florida Cocoplum	24"	20"	24" oc	Medium	None	HIGH	HIGH	HIGH	Native Shrub - grows to max. of 5' high
EUG 110	Eugenia arborea / Dwarf Shefflera	24"	20"	24" oc	Medium	Fruit & Flower	HIGH	HIGH	HIGH	Great Native for Hedge or Natural growth
FAK 162	Ficus ventricosa / Fakahatchee Grass	24"	20"	30" oc	Med. low	None	HIGH	HIGH	HIGH	Another good native grass that looks great under Sabal Palm
MYR 86	Myrsine laevis / Simpson's Stopper	24"	20"	24" oc	Medium	FRUIT	HIGH	HIGH	HIGH	Good native tree form maintained by existing
PLO 280	Polypodium podophyllum / Wart Fern	24"	20"	24" oc	Coarse	FRUIT	HIGH	HIGH	HIGH	Excellent native fern adjacent to wetlands
PSY 185	Psychotria caribaea / Wild Coffee	24"	20"	24" oc	Coarse	FRUIT	HIGH	HIGH	HIGH	grows to 10' tall looks best at 4'-5' so trim top is a must
SPA 848	Spartina patens / Cordgrass	12"	6"	12" oc	Fine	Grass	HIGH	HIGH	HIGH	8' pots - or liners - Looks fantastic under palm trees and Pines
<b>TOTAL NATIVE SHRUBS</b>										
<b>NON NATIVE SHRUBS AND GROUND COVERS</b>										
ARC 215	Asplenium platyneuron / Parasol Juniper Groundcover	20"	17"	24" oc	Fine	None	HIGH	HIGH	HIGH	Great groundcover with fine texture leaf - grows 2' high
FIG 60	Ficus macleodii / Green Island Ficus	18"	18"	24" oc	Fine	None	HIGH	HIGH	HIGH	Great SHRUB for urban areas and tight spaces - can be sheared and maintain at 24" high
SCH 70	Schellera arborea / Dwarf Shefflera Gold Cascade	24"	20"	24" oc	Medium	None	HIGH	HIGH	HIGH	Shrub grows to a max. ht. of 4' - can be sheared and leaf cut is the nearest on this plan
<b>TOTAL NON-NATIVE BUT DROUGHT TOLERANT PLANTS</b>										
<b>TOTAL SHRUBS OF WHICH 82% ARE NATIVE MATERIALS</b>										



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Phone: (954) 777-0534

**PARCO MARE APARTMENTS**  
400 East Dania Beach Blvd.  
Dania Beach, Florida

**SCALE:** AS SHOWN  
**PROJECT NUMBER:** 04-2014-R  
**DATE:** 09-05-14  
**REVISIONS:** 09-30-14  
CORRECTIONS MADE AS PER CITY LANDSCAPE REVIEWER AND FIRE DEPT.

**SHEET NUMBER:** LP-1

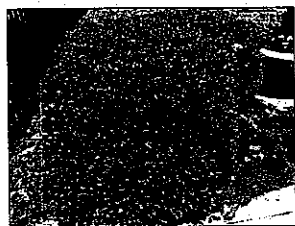
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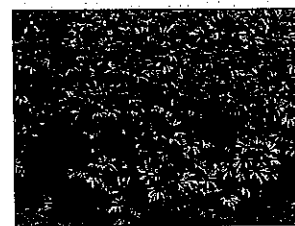
(PS) SYLVESTER DATE PALM



(LL) LIGUSTRUM TREE



(RAP) INDIAN HAWTORNE- PINK FLOWERS



(SCH) DWARF SHEFFLERA



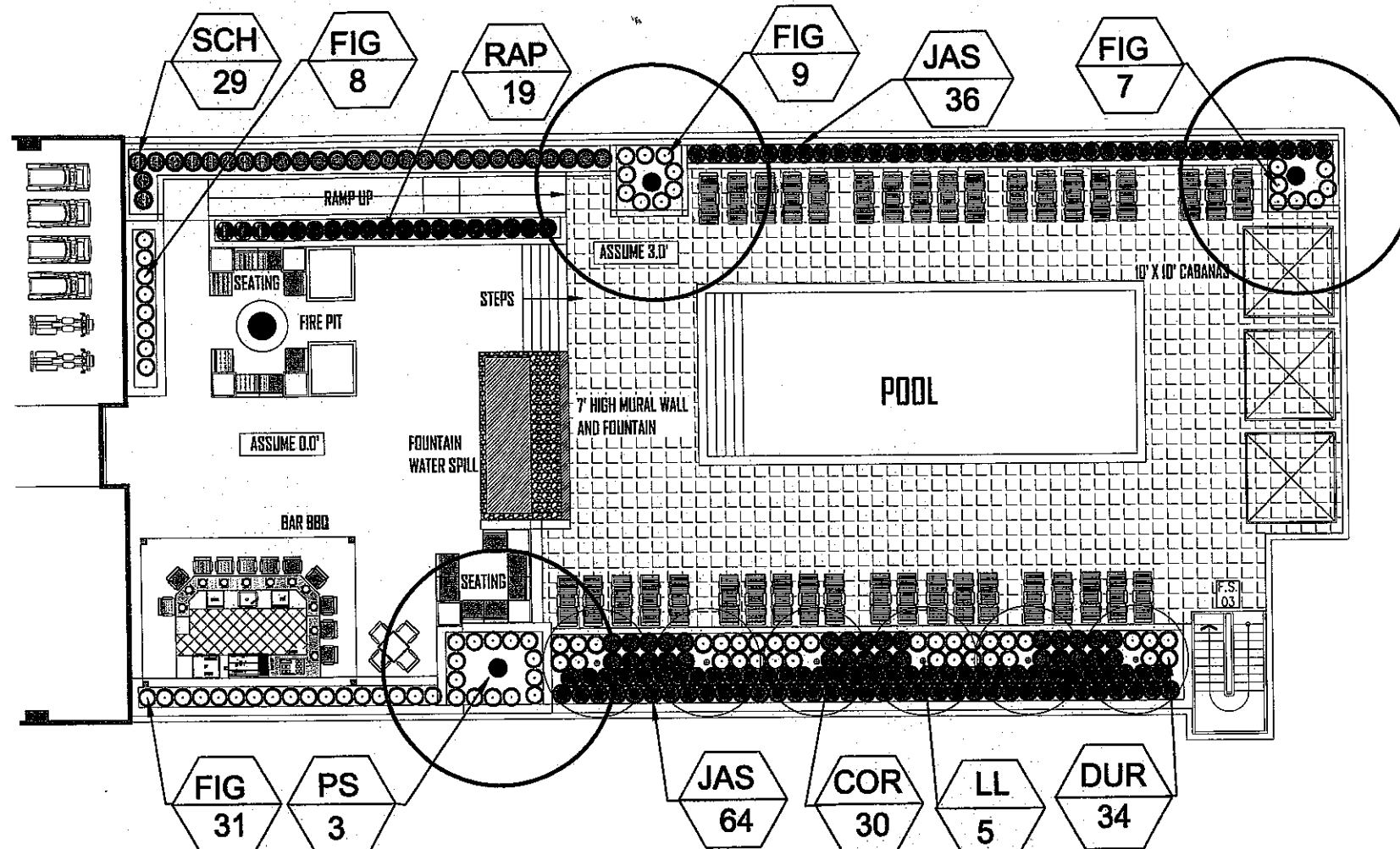
(DUR) GOLD MOUND DURANTA



(FIG) GREEN ISLAND FICUS



(COR) TI PLANT



**POOL / 5th LEVEL LANDSCAPE PLAN**  
SCALE: 1/8"=1'-0"

PLANT LIST FOR - PARCO MARE-POOL AREA										
KEY	QUANT.	BOTANICAL NAMES/ COMMON NAMES	HGT	SPR	CALIPER DBH HGT.	TYPE L, M, F, S	FLOWERS FRUITS	XERISCAPE REQ.		REMARKS
								SALT	DROUGHT	
TREES and PALMS										
LL	5	Ligustrum japonicum / Japanese Privet	14'	8'	multi-trunk	Medium	white	HIGH	HIGH	FLORIDA # 1 MATERIAL
PS	3	Phoenix Sylvestris / Sylvester Date Palm	22'		8'-10' GW	PALM		HIGH	HIGH	
COR	30	Cordyline fruticosa "MARIA" / Ti Plant	3'-4'	30"	30"	Coarse	Tri-Color	MEDIUM	Medium	Good Detail Plant- Good Leave Color/Tri-Color
DUR	34	Duranta Gold Mound / Yellow Duranta	24"	24"	24"	Medium-fine		med	med	Good looking low shrub for tight spaces and leaf color
FIG	52	Ficus Green Island / Dwarf Green Island Ficus	18"	18"	24" oc	fine		HIGH	HIGH	Great ground cover for urban areas and tight spaces
JAS	100	Jasminum simplicifolium / Wax Jasmine	18"	18"	20"	Medium	Pink	Medium	Medium	Another Great Median plant-Good Leave Color
RAP	19	Raphiolepis indica / Dwarf Indina Hawthorne	18"	18"	20"	Medium	Pink	Medium	Medium	Nice leave color-Looks good as an Hedges or Low cut plant
SCH	29	Schefflera arboicola "GOLD CAPPELLA"	24"	24"	24"	Medium		MEDIUM	HIGH	

**MC**  
Manano Corral  
Landscape Architect

**ba**  
BERMELLO  
AJAMIL +  
PARTNERS INC

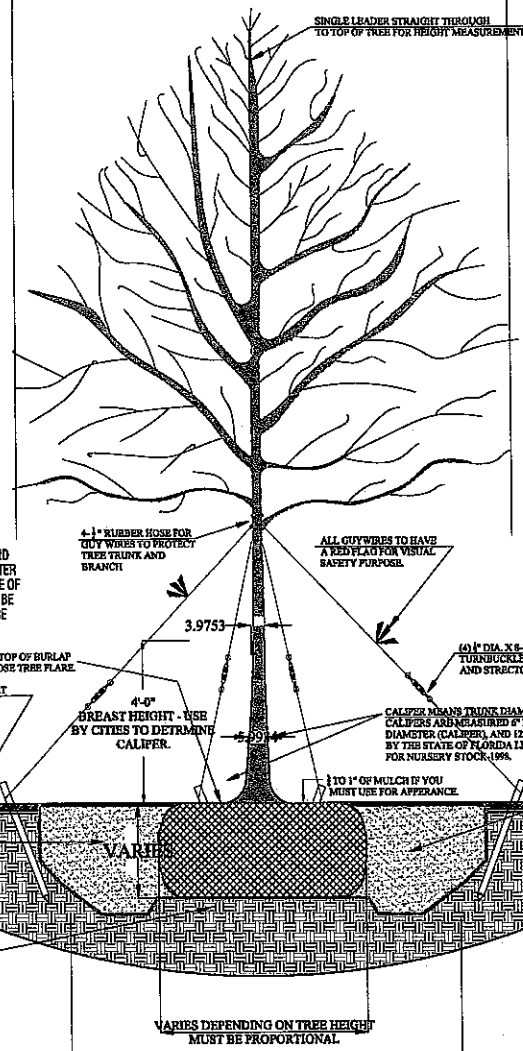
**PARCO MARE APARTMENTS**  
400 East Dania Beach Blvd.  
Dania Beach, Florida

**FILEA GROUP**

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# SPECIFICATIONS AND DETAILS

CROWN OF TREE VARIES WITH PROPORTION OF TREE HEIGHT AND CALIPER SIZE



NOTE: REMOVE ALL STAKES AND GUYING SYSTEM ONE YEAR AFTER INITIAL INSTALLATION. DISPOSE OF ALL MATERIALS AND NONE TO BE LEFT ON SITE. CARE SHOULD BE TAKEN NOT TO HARM TREE OR PALM.

NOTE: ALL GUYING SYSTEM TO BE REMOVED 12 MONTHS AFTER INSTALLATION. GO TO SUBMIT CONFIRMATION IN WRITING TO OWNER.

**TYP. TREE BRACING DETAIL FOR A TREE 3 1/2" AND HIGHER**

**WARNING: DO NOT FERTILIZE NEWLY INSTALLED PLANT MATERIALS UNTIL APPROXIMATELY 2 TO 3 MONTHS AFTER PLANTING. NEW INSTALLED PLANTS ARE ALL READY FERTILIZED BY THE NURSERY GROWER.**



PHOTOS BY MARIANO CORRAL LANDSCAPE ARCHITECT

The TOP of TREE ROOTBALL shall be placed 3" above existing soil. This will insure that tree flare will be exposed and NO MULCH shall be placed on top of rootball. If you must place mulch for appearance sake, lightly do so no more than 1/2" thick and 4" away from tree trunk. Create a 4" saucer around tree rootball 6' in diameter.



TYP. GUY WIRE AND HOSE WRAPING AROUND TREE BRANCHES



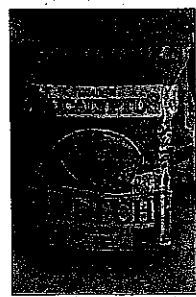
Proper Palm Bracing for Royals, Sabal Palms, or Date Palms- use burlap, metal straps brace and (4) Wood Battens do not nail to trunk. Use Four (4) wood planks 8' long to uphold palm tree over 22' height or 10' greywood and above.

WRAP BURLAP AROUND PALM TREE TRUNK FOR PROTECTION. 2"x4"x8' WD. BLOCK FOR NAILING THE WOOD PLANKS TO SUPPORT PALM TREE. USE METAL STRAPS TO HOLD WD. BLOCK AND BURLAP.

**TYP. PALM TREE BRACING DETAIL**

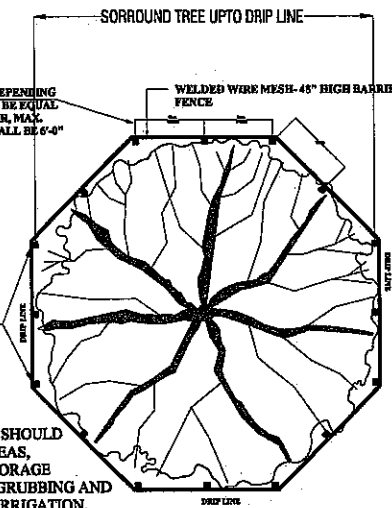
**WARNING: DO NOT FERTILIZE NEWLY INSTALLED PLANT MATERIALS UNTIL APPROXIMATELY 2 TO 3 MONTHS AFTER PLANTING. NEW INSTALLED PLANTS ARE ALL READY FERTILIZED BY THE NURSERY GROWER.**

Use Four (4) wood planks 8' long to uphold palm tree over 22' height or 10' greywood and above.



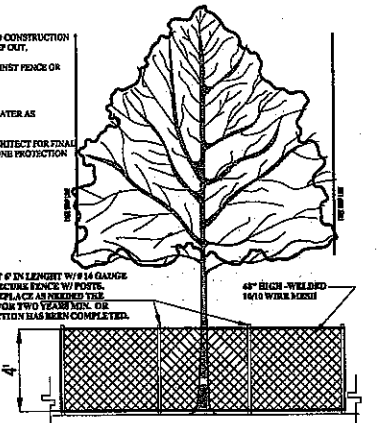
ALL PLANTING BEDS TO USE EUCALYPTUS GRADE A MULCH, OR ECO MULCH, OR SHREDDED WOOD PRODUCTS AND AS APPROVED AND CERTIFIED BY THE NATIONAL SOIL AND MULCH COUNCIL. (NO RED MULCH PLEASE)

THIS DIMENSION WILL VARY DEPENDING ON CANOPY SIZE. ALL POST TO BE EQUAL SPACING ON CENTER. HOWEVER, MAX. DISTANCE BETWEEN POSTS SHALL BE 6'-4" O.C.

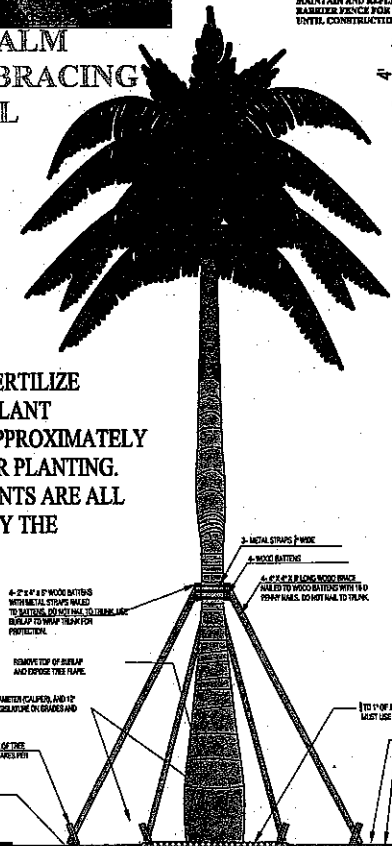


NOTE: NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING VEHICULAR USE, STORAGE MATERIALS, GRADE CHANGES, GRUBBING AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL LIGHTING, ETC.

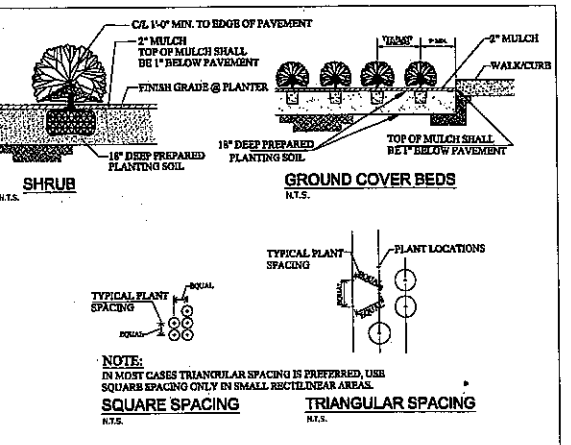
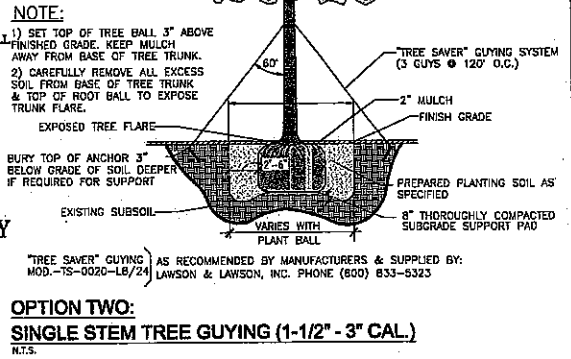
ERECT FENCE PRIOR TO CONSTRUCTION AND POST SIGN TO KEEP OUT. DO NOT FILL SOIL AGAINST FENCE OR ROOTS. MONITOR TREE AND WATER AS NECESSARY. CALL LANDSCAPE ARCHITECT FOR FINAL APPROVAL OF TREE ZONE PROTECTION AREA.



**TYP. TREE PROTECTION BARRIER FENCE FOR EXISTING TREES**




**TYP. PALM TREE DETAIL (NOT TO SCALE)**



OPTION ONE TREE BRACING: TREES WITH 2" CALIPER OR LESS. USE (1) 2" DIAMETER PRESSURE TREATED LODGE POLE. POLE SHALL BE 9' OVER ALL LENGTH. BURY POLE 3" DEEP. USE CINCH TIES TO SECURE TREE TRUNK TO POLES.


CINCH TIES TO SECURE TREE TRUNK TO POLES.



**Mariano Corral**  
Landscape Architect  
Landscape Architecture  
Golf Course Architecture  
14141 Pacific Ave  
Unit 1000  
Miami, FL 33187  
Phone: (305) 487-1111  
Fax: (305) 487-1114

ASSOCIATED WITH  
CEH CEH RODRIGUEZ  
SENIOR TOUR PLANNERS

---



**BEFMELO AJAMIL + PARTNERS INC**  
Architects & Engineers  
Planning & Interior Design  
Landscape Architecture  
1 East Howard Blvd.  
Suite 300  
Fort Lauderdale, FL 33301  
Phone: (954) 487-1113  
Fax: (954) 487-1114


---

**FILEA GROUP**  
The Real Estate Group  
1111  
Fort Lauderdale, FL 33301  
Phone: (954) 487-1113  
Fax: (954) 487-1114

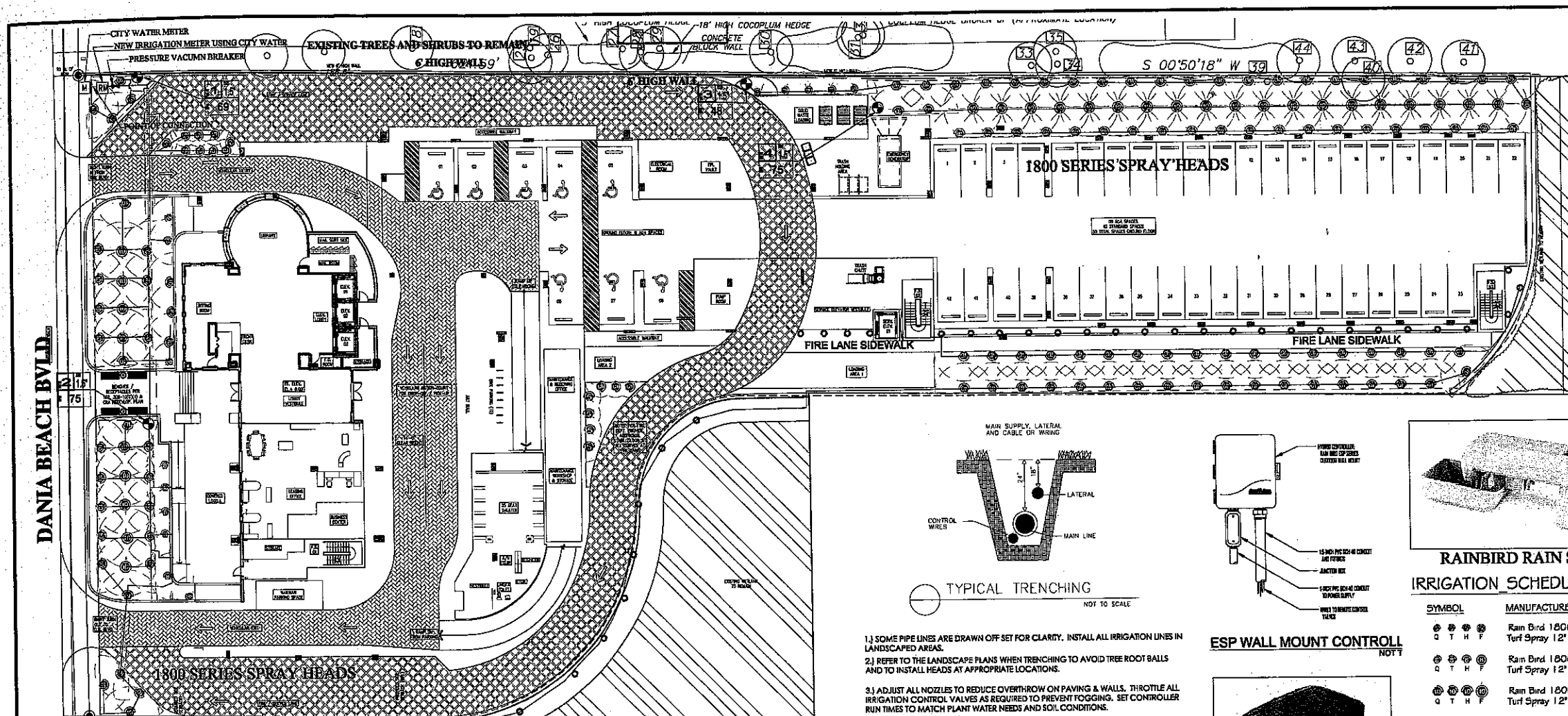
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**PARCO MARE APARTMENTS**  
400 East Dania Beach Blvd.  
Dania Beach, Florida

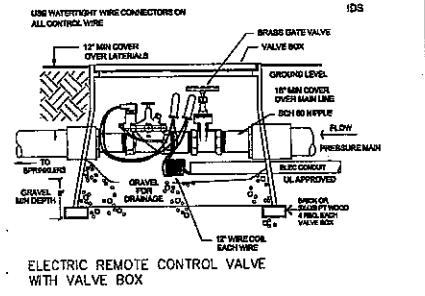
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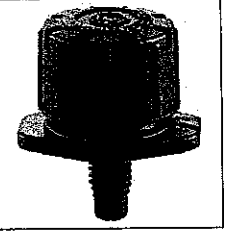
SCALE: AS SHOWN  
PROJECT NUMBER: 04-2014-R  
DATE: 09-05-14  
REVISIONS: 05-20-14 CORRECTIONS MADE AS PER CITY LANDSCAPE REVIEWER AND FIRE DEPT.  
LIC # LA 666673  
SHEET NUMBER: LP-3  
OR: 811 Know what's below. Call before you dig. IT'S THE LAW!



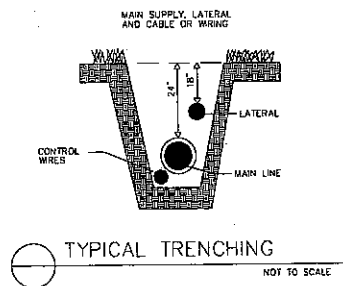
**SITE IRRIGATION PLAN**  
SCALE: 1"=20'-0"



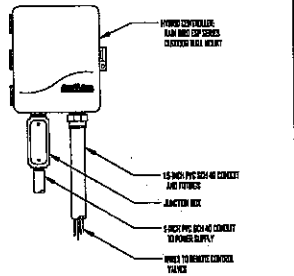
ELECTRIC REMOTE CONTROL VALVE WITH VALVE BOX



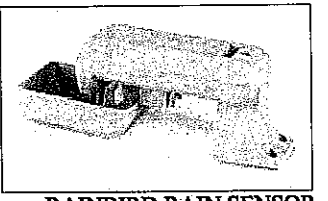
PLANS ARE SCHEMATIC AND PIPES SHALL BE LC AREAS EXCEPT AT ROAD. All construction minimums s. Plumbing section of the Sou Appendix "F". They shall al the "Standards" as set forth I GIGATION SOCIETY. Noth s specifications is intended to mpliance. Contractor shall



TYPICAL TRENCHING  
NOT TO SCALE



ESP WALL MOUNT CONTROL  
NOT TO SCALE

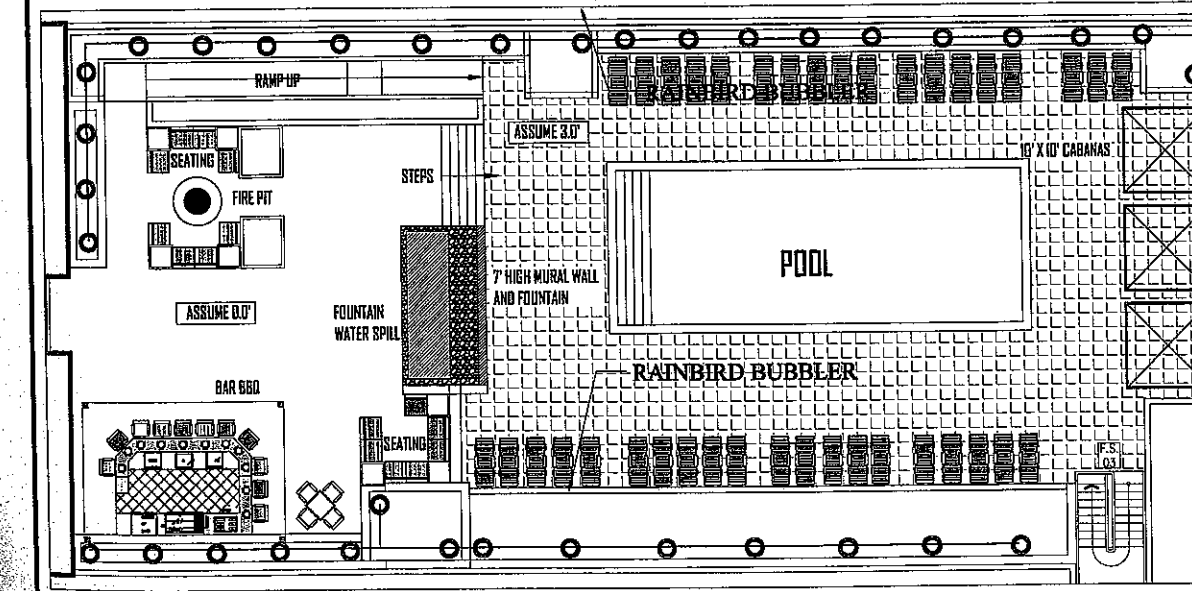


RAINBIRD RAIN SENSOR

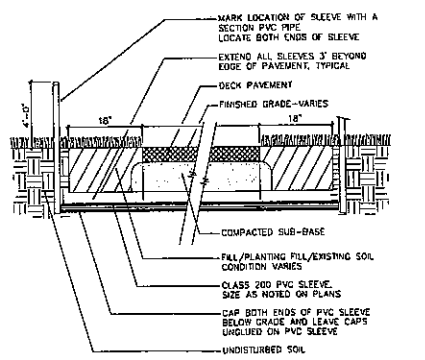
**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
○ T H F	Rain Bird 1806 5 Series MPR Turf Spray 12" popup.	43
○ T H F	Rain Bird 1806 8 Series MPR Turf Spray 12" popup.	50
○ T H F	Rain Bird 1806 10 Series MPR Turf Spray 12" popup.	55
○	Rain Bird 1800-1300AF Flood Flood Bubbler on fixed riser, with a PA-80 adapter.	60
○	Rain Bird FEB Electric Remote Control Valve	6
—	Irrigation Lateral Line: PVC Schedule 40	1,279 l.f.
—	Irrigation Mainline: PVC Schedule 40	756 l.f.
—	Pipe Sleeves: PVC Schedule 40	220 l.f.

THE ABOVE CHART IS A COURTESY. CONTRACTOR TO RE-CHECK QUANTITIES, AND IS ALLOWED TO MAKE THE NECESSARY CHANGES TO MAKE SURE SYSTEM IS OPERABLE. THAT INCLUDES PUMP SIZE AND NUMBER OF HEADS. ALWAYS MAINTAINING THE 100% IRRIGATION COVERAGE.



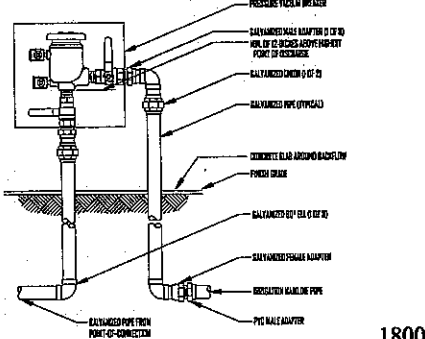
**5th LEVEL IRRIGATION PLAN**  
SCALE: 1"=10'-0"



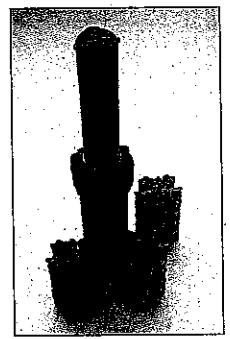
SLEEVE UNDER PAVING  
NOT TO SCALE

**NOTE BMP**  
IRRIGATION PLANS ARE SCHEMATIC IN NATURE ALL VALVES AND PIPES SHALL BE LOCATED IN LANDSCAPE AREAS EXCEPT AT ROAD/PAVING CROSSINGS. All construction minimums shall be in conformance to Plumbing section of the South Florida Building Code, Appendix "F". They shall also be equal to, or greater, than the "Standards" as set forth by the F.I.S. FLORIDA IRRIGATION SOCIETY. Nothing herein or contained in the specifications is intended to be in conflict with any code compliance. Contractor shall comply with all code requirements.

THIS SYSTEM WILL BE DESIGN USING BEST MANAGEMENT PRACTICES. BY THIS IT MEANS THE FOLLOWING:  
1. USING RAIN SENSOR DEVICE TO SHUT OFF SYSTEM DURING RAINY DAYS  
2. EFFICIENT USE OF NEW SPRAY HEADS FOR WATER CONSERVATION  
3. ADOPTION OF IMPROVEMENT OF NEW TECHNOLOGY AND KNOWLEDGE  
4. A SYSTEM DESIGNED FOR UNIFORM AND EFFICIENTLY DISTRIBUTE WATER FOR WATER CONSERVATION  
5. MAINTAIN THE IRRIGATION SYSTEM FOR OPTIMUM PERFORMANCE  
6. MANAGE THE IRRIGATION SYSTEM TO RESPOND TO THE CHANGING REQUIREMENTS FOR WATER IN THE LANDSCAPE.



PRESSURE VACUUM BREAKER



RAINBIRD 1800 SERIES SPRAY HEADS

**MC**  
Mariano Corral  
Landscape Architect  
Landscape Architecture  
Civil Engineering  
Land Planning  
Member of the National Institute of Landscape Architects

ASSOCIATED WITH  
CIBI CIBI RODRIGUEZ  
SENIOR TOUR PLANNER

ARCHITECT  
**ba**  
BERMELLO  
AJAMIL +  
PARTNERS INC  
Architecture Engineering  
Planning Interior Design  
Landscape Architecture  
1 East Broward Blvd.  
Suite 200  
Fort Lauderdale, FL 33301  
Phone (954) 467-1113  
Fax (954) 467-1116

OWNER/SITE  
**FILEA GROUP**  
1400 Brickell Avenue,  
Miami, FL 33131  
Phone (305) 371-6234

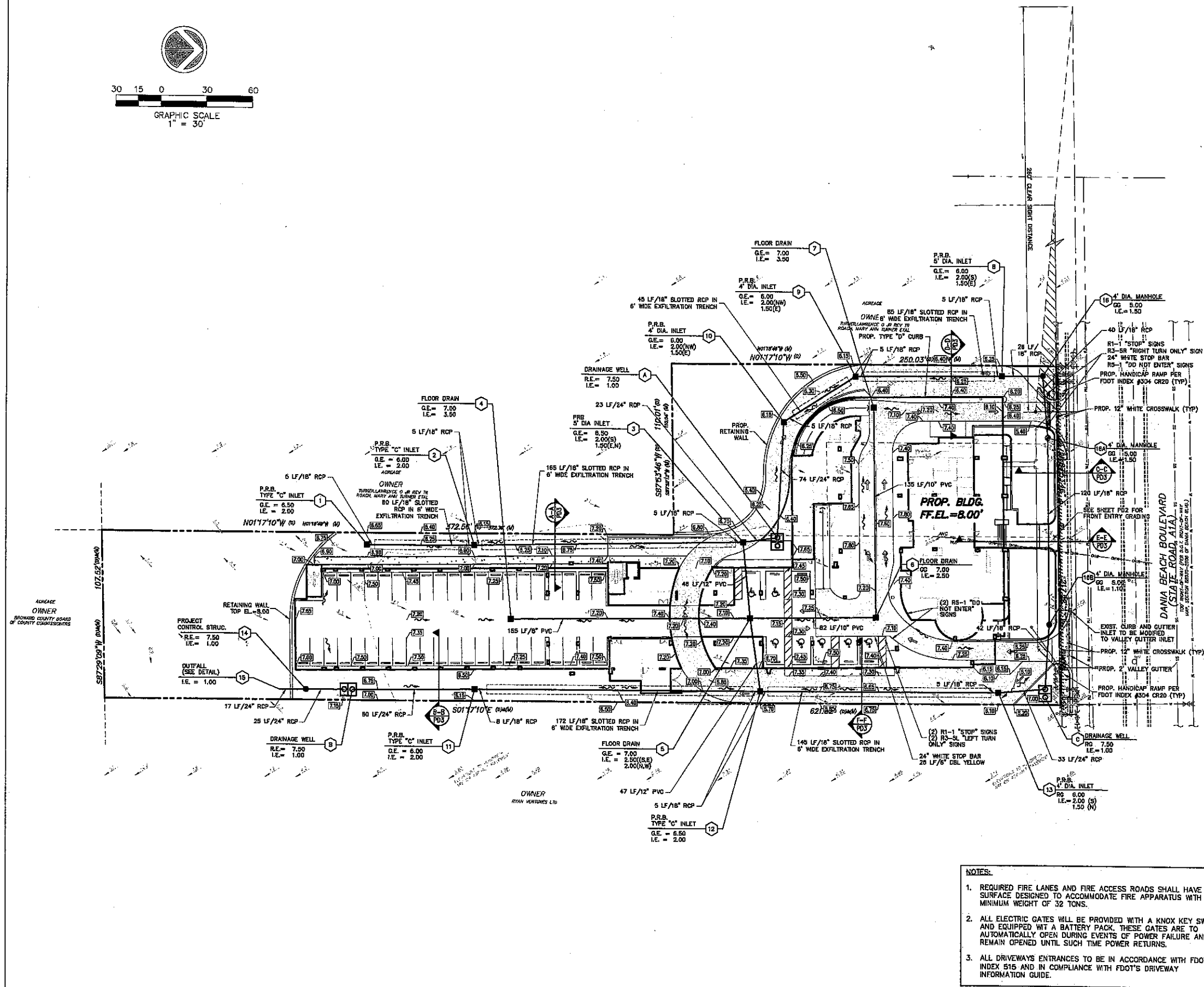
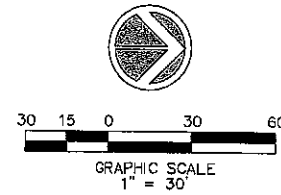
**PARCO MARE APARTMENTS**  
400 East Dania Beach Blvd.  
Dania Beach, Florida

SCALE: AS SHOWN  
PROJECT NUMBER: 04-2014-R  
DATE: 09-05-14  
REVISIONS:  
09-30-14 CORRECTIONS MADE AS PER CITY LANDSCAPE REVIEWER AND FIRE DEPT.

SEAL:  
LIC # LA 666671  
SHEET NUMBER:  
**IR-1**  
OF 1

2002 DIV 108 Code  
3000W, Florida 33156  
OFF: (954) 881-1262  
FAX: (954) 881-4364  
EMAIL: corral@corral.com

**811**  
Know what's below  
Call before you dig  
IT'S THE LAW!



- NOTES:**
- REQUIRED FIRE LANES AND FIRE ACCESS ROADS SHALL HAVE A SURFACE DESIGNED TO ACCOMMODATE FIRE APPARATUS WITH A MINIMUM WEIGHT OF 32 TONS.
  - ALL ELECTRIC GATES WILL BE PROVIDED WITH A KNOX KEY SWITCH AND EQUIPPED WITH A BATTERY PACK. THESE GATES ARE TO AUTOMATICALLY OPEN DURING EVENTS OF POWER FAILURE AND REMAIN OPENED UNTIL SUCH TIME POWER RETURNS.
  - ALL DRIVEWAYS ENTRANCES TO BE IN ACCORDANCE WITH FDOT INDEX 516 AND IN COMPLIANCE WITH FDOT'S DRIVEWAY INFORMATION GUIDE.

**PAVING & DRAINAGE LEGEND**

R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
→	DIRECTION OF FLOW
150' @ 0.5%	PAVEMENT SLOPE
P.R.B.	POLLUTION RETARDANT BASIN
F.F. = 10.00	FINISHED FLOOR ELEVATION
---	EXISTING OR FUTURE UTILITIES
○	STRUCTURE DESIGNATION
○ 100 LF / 15"	LENGTH, SIZE OF STORM DRAIN
▭	EXISTING GRADE
▭	PROPOSED GRADE
	D.I.P. PIPE

FIRM AE ELEVATION 6.0  
MAP NO. 12011C309F

ALL ELEVATIONS ARE N.G.V.D.



**RILEA GROUP**  
1033 BRUCELL AVENUE, SUITE 1015  
MIAMI, FL 33131  
Phone: (305) 371-5254 Fax: (305) 371-4826

ARCHITECTURE / PLANNING



**BERMELLO AJAMIL & PARTNERS INC**  
Architecture Engineering Planning Interior Design Landscape Architecture  
1 EAST BROWARD BLVD, SUITE 800  
FORT LAUDERDALE, FL 33301  
Phone: (954) 467-1115 Fax: (954) 467-1118  
COPY. OF ARCHITECTURE BOARD REG. NO. 12011C309F

LANDSCAPE ARCHITECTURE



**MARIANO CORRAL**  
LANDSCAPE ARCHITECT  
3001 SW 19TH COURT  
MIAMI, FLORIDA 33185  
Phone: (305) 551-1282 Fax: (305) 553-2026

CIVIL ENGINEERING



**SUN-TECH ENGINEERING, INC.**  
ENGINEERS, PLANNERS, SURVEYORS  
1600 WEST OAKLAND PARK BOULEVARD  
FORT LAUDERDALE, FL 33311  
Phone: (954) 771-5163 FAX: (954) 771-3114  
Certificate of Auth. # 7097

PHOTO-METRICS



**ENGINEERING F01 ARCHITECTURE**  
600 FAIRWAY DRIVE - SUITE 250  
DEERFIELD BEACH, FL 33441  
Phone: (561) 418-0096 Fax: (561) 418-0296  
www.f01arch.com E-MAIL: f01@f01.com

Oct 01 2014  
ALDO LEJAS, P.E.  
FL. REG. NO. 78619

**SITE PLAN SUBMITTAL**  
12.02.09

REVISIONS:

1	6/01/10	REV. PER D.R.C.
---	---------	-----------------

PROJECT NAME:  
**SAN SOUCI HOTEL PROJECT**  
DANIA BEACH, FLORIDA

PROJECT ADDRESS:  
400 EAST OAKLAND BOULEVARD  
DANIA BEACH, FLORIDA 33004

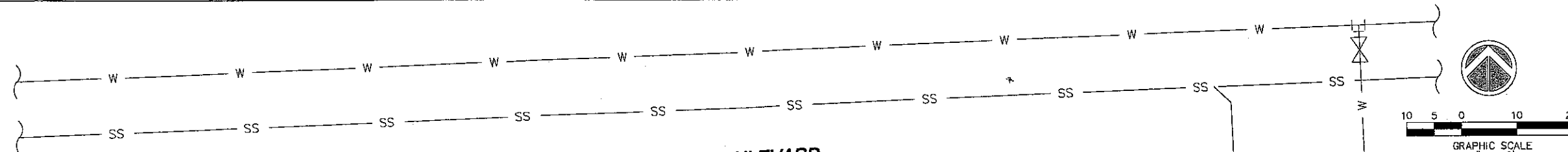
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DATE: DEC. 2009  
DRAWN: M.S.  
CHECKED:  
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DRAWING TITLE:  
**SCHEMATIC PAVING & DRAINAGE PLAN**

SHEET NO.  
**PD1**

**PD1 SCHEMATIC PAVING + DRAINAGE**  
SCALE: 1" = 30'

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**DANIA BEACH BOULEVARD  
(STATE ROAD A1A)**



**RILEA GROUP**  
1000 BRICKELL AVENUE, SUITE 1015  
MIAMI, FL 33131  
Phone: (305) 371-6254 Fax: (305) 371-6226



**BERMELLO AJAMIL & PARTNERS INC**  
Architecture Engineering Planning Interior  
Design Landscape Architecture  
1 EAST BROWARD BLVD. SUITE 600  
FORT LAUDERDALE, FL 33301  
Phone: (954) 487-1113 Fax: (954) 487-1116  
E.O. 11236

LANDSCAPE ARCHITECTURE

**MC**  
**MARIANO CORRAL**  
LANDSCAPE ARCHITECT  
3001 SW 105TH COURT  
MIAMI, FLORIDA 33188  
Phone: (305) 551-1282 Fax: (305) 553-2088

CIVIL ENGINEERING



**SUN-TECH ENGINEERING, INC.**  
ENGINEERS, PLANNERS, SURVEYORS  
1600 WEST OAKLAND PARK BOULEVARD  
FORT LAUDERDALE, FL 33311  
Phone: (954) 777-3123 FAX: (954) 777-3114  
Certificate of Auth. # 7097

PHOTO-METRICS

**TC**  
**ENGINEERING FOR ARCHITECTURE**  
500 FAIRWAY DRIVE - SUITE 200  
DEERFIELD BEACH, FL 33441  
Phone: (561) 418-0096 Fax: (561) 418-0206  
www.tc-engineers.com E# 0000015

Oct 01 2014  
ALDO MEJIAS, P.E.  
FL. REG. NO. 75919

**SITE PLAN SUBMITTAL**  
12.02.09

REVISIONS:

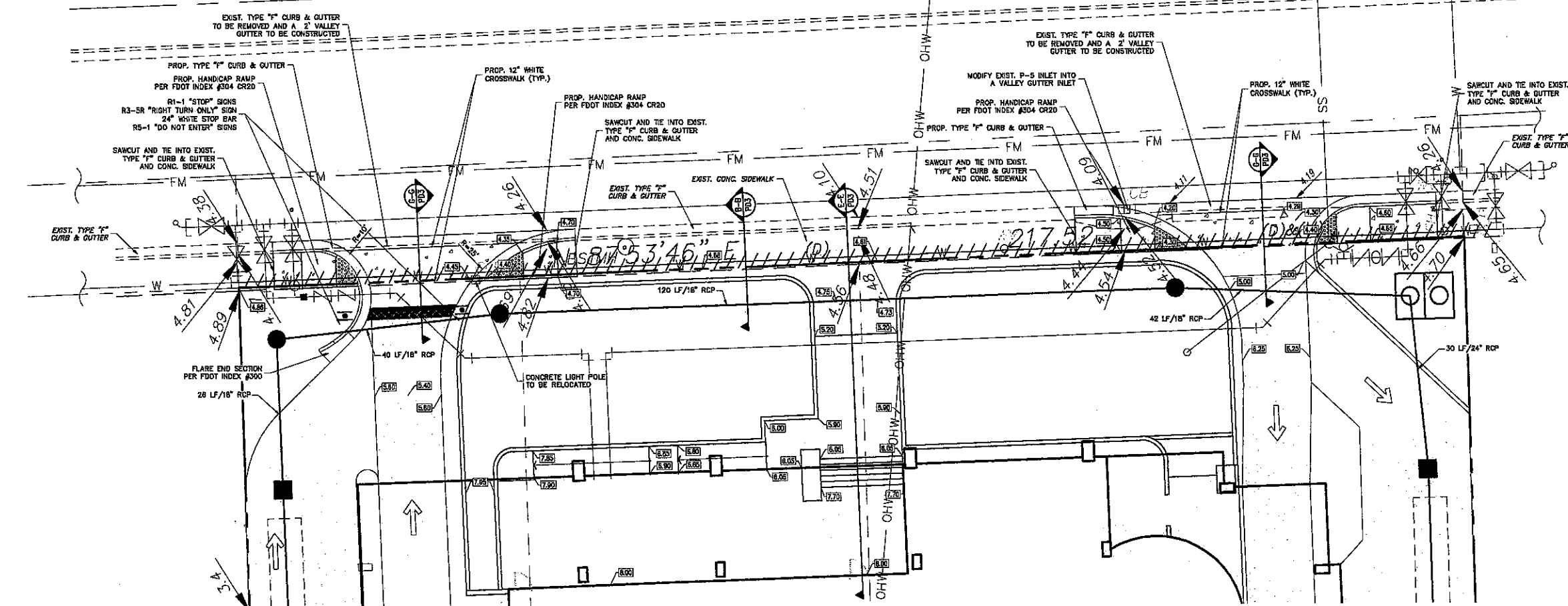
PROJECT NAME:  
**SAN SOUCI HOTEL PROJECT**  
**DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
488 EAST DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33024

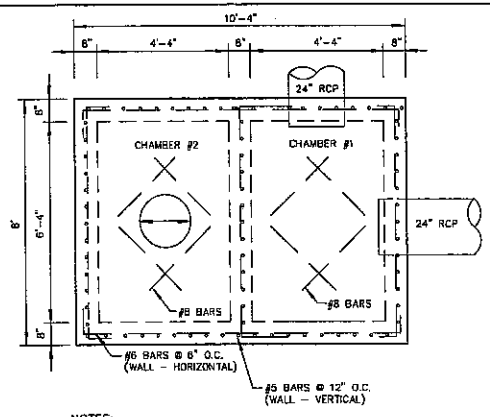
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**FRONT ENTRY GRADING PLAN**

SHEET NO.  
**PD2**

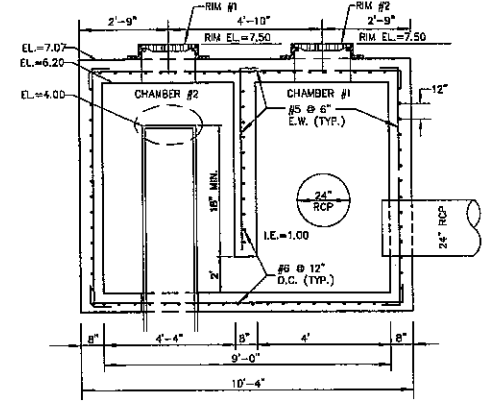


**NOTES:**  
1. CROSSWALKS TO PROVIDE MAX 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE.



- NOTES:**
- TOP SLAB REINFORCEMENT TO BE NO. 7 BARS @ 6" O.C. E.W. WITH ADDITIONAL NO. 8 BARS AROUND OPENINGS.
  - PLACEMENT OF RING AND COVER ACCESSING EACH CHAMBER SHALL BE AS DESIGNED ON PLAN. RING AND COVER SHALL BE U.S.F. #80.
  - SLAB OPENINGS SIZES WITHIN EACH CHAMBER SHALL BE AS REQUIRED BASED UPON INSTALLATION OF RING & COVER.

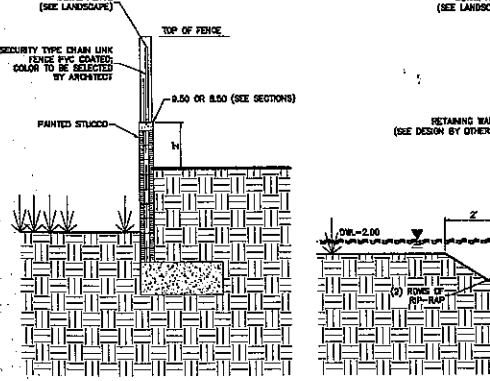
**PLAN**



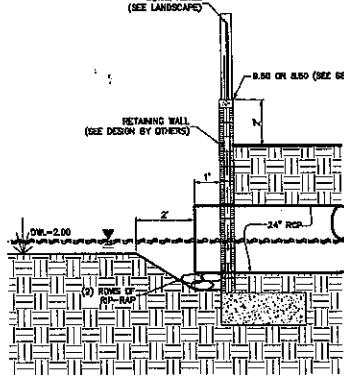
**SECTION**

- NOTES:**
- SEE PLAN OR DRAINAGE TABLE FOR RIM OR GRATE ELEVATIONS.
  - RING & COVER TO BE U.S.F. #80.
  - WELL TO BE 24 INCH DIAMETER AND 70 FT IN DEPTH, WITH 55 FT. CASING DEPTH.

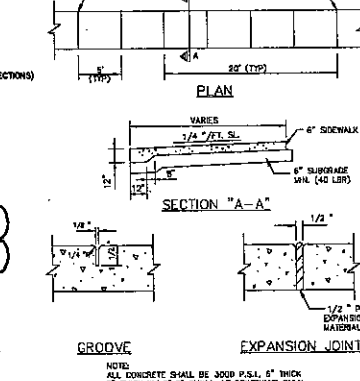
**WELL STRUCTURE DETAIL #A & C**



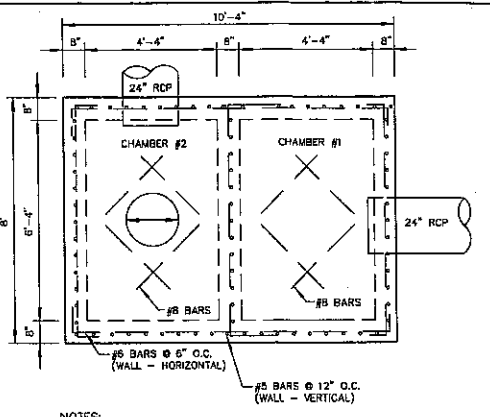
**RETAINING WALL DETAIL**  
(SEE ARCHITECTURAL PLANS FOR DESIGN)



**OUTFALL DETAIL**

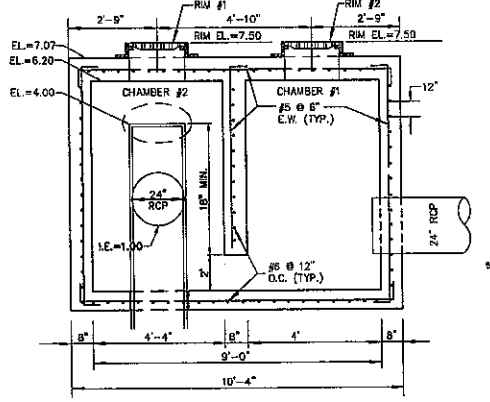


**THICKENED EDGE SIDEWALK DETAIL**



- NOTES:**
- TOP SLAB REINFORCEMENT TO BE NO. 7 BARS @ 6" O.C. E.W. WITH ADDITIONAL NO. 8 BARS AROUND OPENINGS.
  - PLACEMENT OF RING AND COVER ACCESSING EACH CHAMBER SHALL BE AS DESIGNED ON PLAN. RING AND COVER SHALL BE U.S.F. #80.
  - SLAB OPENINGS SIZES WITHIN EACH CHAMBER SHALL BE AS REQUIRED BASED UPON INSTALLATION OF RING & COVER.

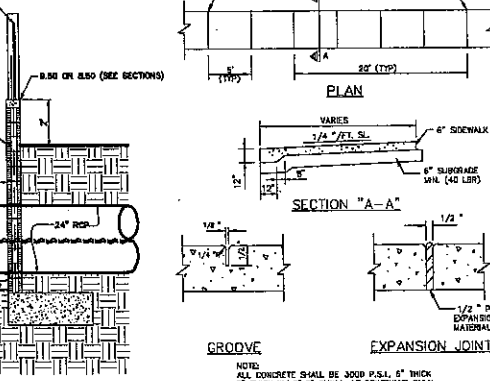
**PLAN**



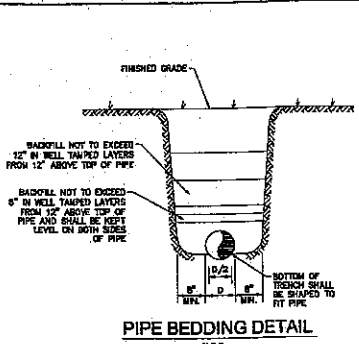
**SECTION**

- NOTES:**
- SEE PLAN OR DRAINAGE TABLE FOR RIM OR GRATE ELEVATIONS.
  - RING & COVER TO BE U.S.F. #80.
  - WELL TO BE 24 INCH DIAMETER AND 70 FT IN DEPTH, WITH 55 FT. CASING DEPTH.

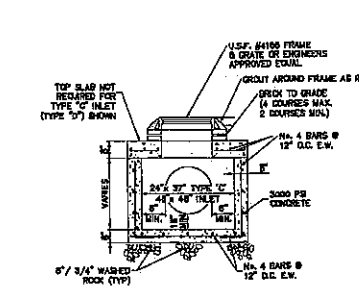
**WELL STRUCTURE DETAIL #B**



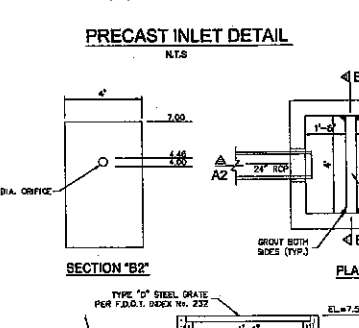
**PROJECT CONTROL STRUCTURE DETAIL**



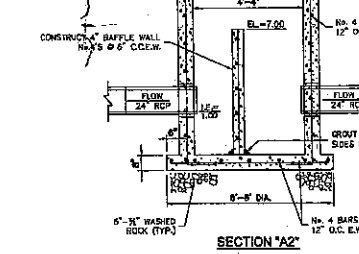
**PIPE BEDDING DETAIL**



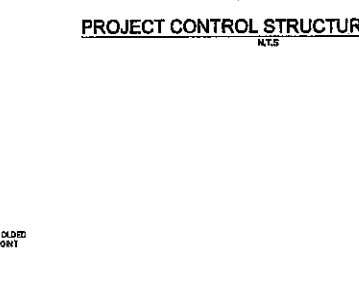
**POLLUTION RETARDANT BASIN**



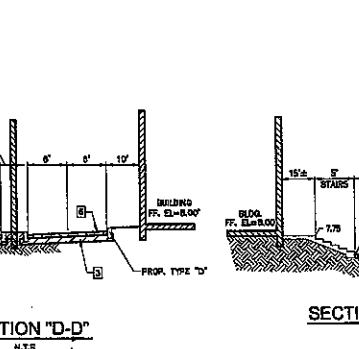
**PRECAST INLET DETAIL**



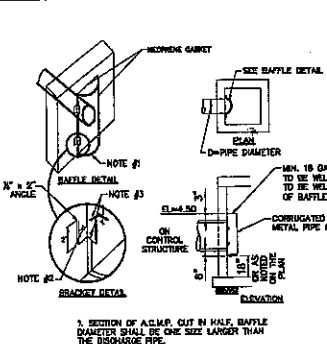
**4-5' DIAM. CATCH BASIN OR MANHOLE**



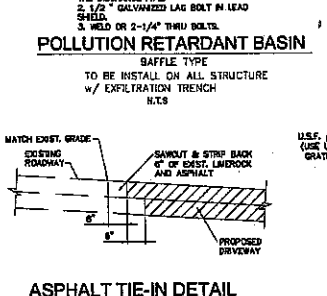
**GRASSPAVE DETAIL**



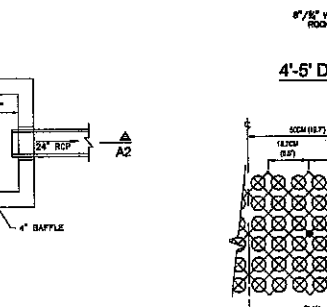
**TYPICAL HANDICAP PARKING DETAIL**



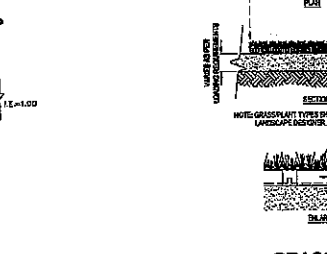
**TYPE "D" CURB**



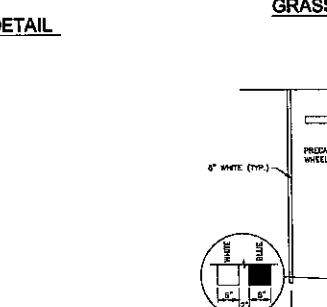
**ASPHALT TIE-IN DETAIL**



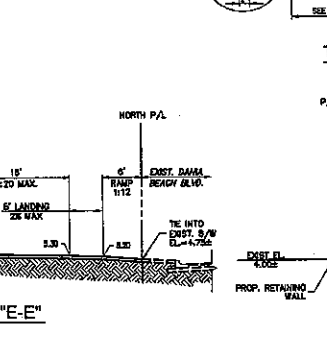
**TYPE "F" CURB AND GUTTER**



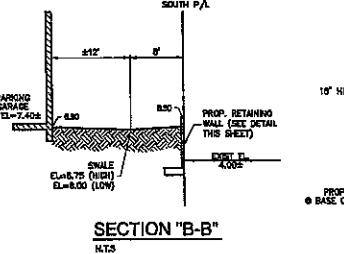
**CONCRETE WHEEL STOP DETAIL**



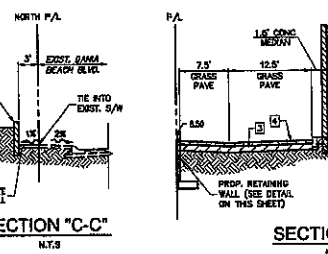
**CURB RAMP DETECTABLE WARNING**



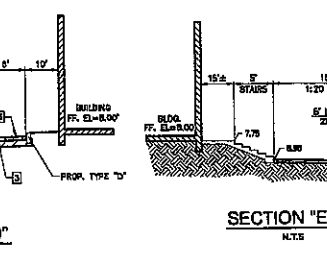
**SECTION "A-A"**



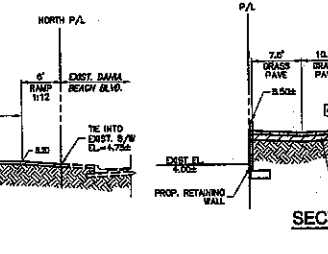
**SECTION "B-B"**



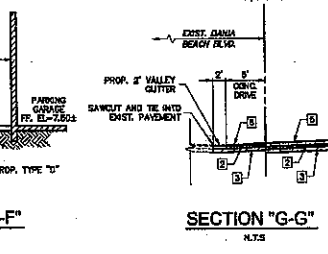
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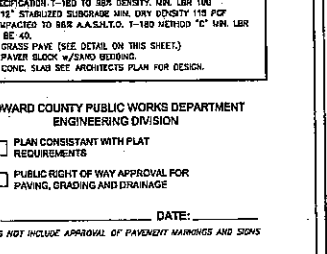
**SECTION "D-D"**



**SECTION "E-E"**



**SECTION "F-F"**



**SECTION "G-G"**

**PAVING + GRADING DETAILS**  
SCALE: N.T.S.

- ON-SITE PAVEMENT NOTES:**
- 1/2" THICK ASPHALT, TWO LIFTS, 3/4" TYPE S-3 ASPHALT.
  - THE BASE COURSE SHALL BE 4" TYPE S-3 ASPHALT, 6" TYPE S-3 ASPHALT COMPACTED IN ACCORDANCE WITH A.A.S.H.T.O. SPECIFICATION 1-160 TO 800 DENSITY. MIN. LBR 100.
  - 1/2" STABILIZED SUBGRADE MIN. DRY DENSITY 115 PCF COMPACTED TO 95% A.A.S.H.T.O. 1-160 METHOD "C" MIN. LBR TO BE 40.
  - GRASS PAVE (SEE DETAIL ON THIS SHEET).
  - PAVER BLOCK W/ SAND BEDDING.
  - CONC. SLAB SEE ARCHITECTS PLAN FOR DESIGN.

**BROWARD COUNTY PUBLIC WORKS DEPARTMENT**  
ENGINEERING DIVISION

PLAN CONSISTENT WITH PLAT REQUIREMENTS

PUBLIC RIGHT OF WAY APPROVAL FOR PAVING, GRADING AND DRAINAGE

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

DOES NOT INCLUDE APPROVAL OF PAVEMENT MARKINGS AND SIGNS

**RILEA GROUP**  
1000 BRIDGELL AVENUE, SUITE 1015  
MIAMI, FL 33131  
Phone: (305) 371-4354 Fax: (305) 371-4328

---

**BERMELLO AJAMIL & PARTNERS INC.**  
Architecture Engineering Planning Interior  
Design Landscape Architecture  
1 EAST BROWARD BLVD., SUITE 800  
FORT LAUDERDALE, FL 33301  
Phone: (954) 467-1113 Fax: (954) 467-1116  
OFFICE OF ARCHITECTURE/PLANNING/INTERIOR DESIGN

---

**MARIANO CORRAL**  
LANDSCAPE ARCHITECT  
3001 SW 109TH COURT  
MIAMI, FLORIDA 33186  
Phone: (305) 551-1252 Fax: (305) 553-2988

---

**SUN-TECH ENGINEERING, INC.**  
ENGINEERS, PLANNERS, SURVEYORS  
1600 WEST OAKLAND PARK BOULEVARD  
FORT LAUDERDALE, FL 33311  
Phone: (954) 777-5122 FAX: (954) 777-5114  
Certificate of Auth. # 7087

---

**ENGINEERING FOR ARCHITECTURE**  
800 FAIRWAY DRIVE - SUITE 250  
DEERFIELD BEACH, FL 33441  
Phone: (561) 416-6096 Fax: (561) 416-6266  
www.tkeng.com

---

Oct 01 2014  
ALDO MEDJAS, P.E.  
FL. REG. NO. 79149

---

**SITE PLAN SUBMITTAL**  
12.02.09

---

**REVISIONS:**

1	6/1/10	REV. PER D.R.C.
---	--------	-----------------

---

**PROJECT NAME:**  
**SAN SOUCI HOTEL PROJECT**  
**DANIA BEACH, FLORIDA**

---

**PROJECT ADDRESS:**  
600 EAST OAKLAND PARK BOULEVARD  
DANIA BEACH, FLORIDA 33011

---

**COMM. NO.:** N.T.S.  
**SCALE:** N.T.S.  
**DATE:** DEC. 2009  
**DRAWN:** MAS  
**CHECKED:**  
**CADD FILE:** 3196ddt.dwg

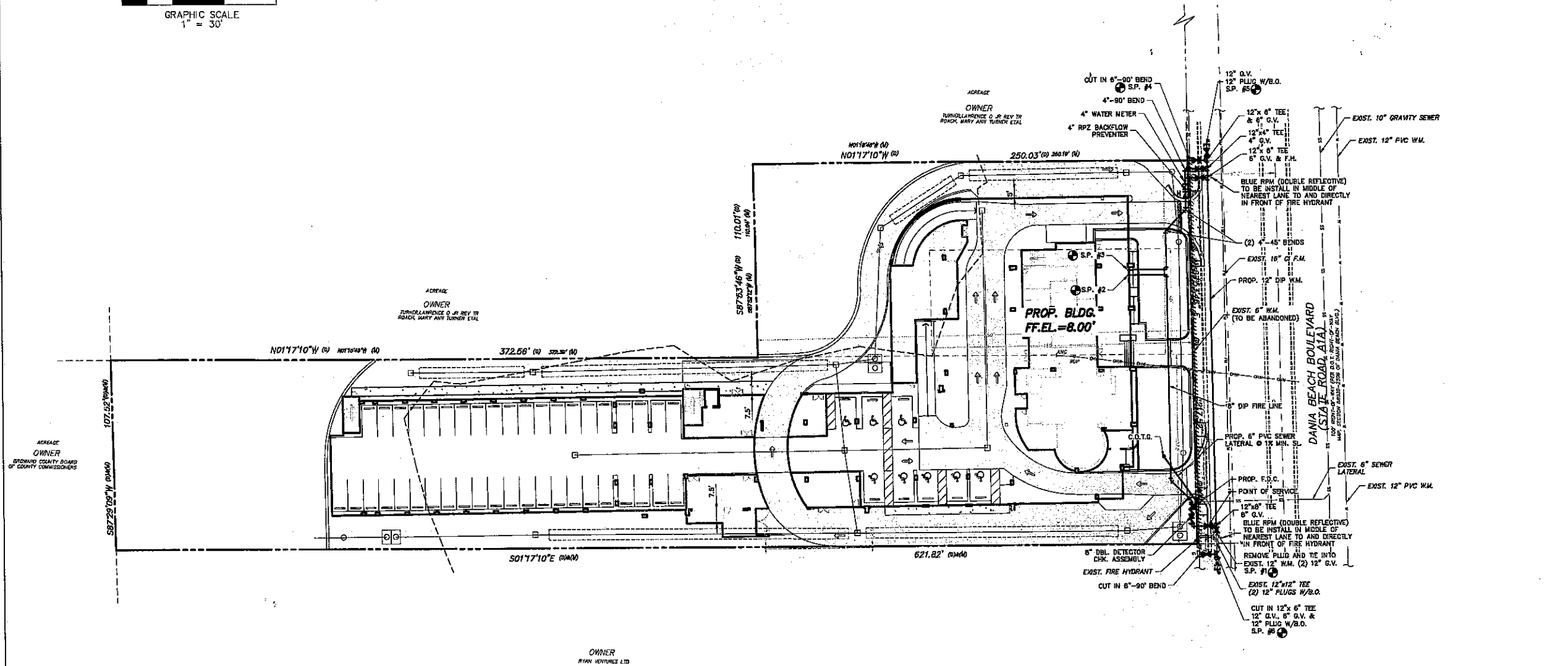
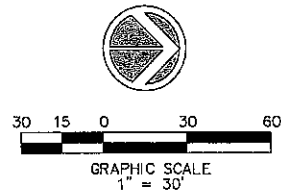
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**DRAWING TITLE:**  
**PAVING + DRAINAGE DETAILS**

---

**SHEET NO. PD3**





**RILEA GROUP**  
1320 BRICKELL AVENUE, SUITE 1015  
MIAMI, FL 33131  
Phone: (305) 371-2554 Fax: (305) 371-4628



**BERMELLO AJAMIL & PARTNERS INC.**  
Architecture Engineering Planning Interior  
Design Landscape Architecture  
1 EAST BROWARD BLVD. SUITE 800  
FORT LAUDERDALE, FL 33301  
Phone: (954) 467-1113 Fax: (954) 467-1115



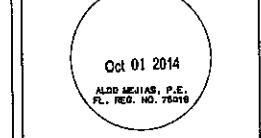
**MARIANO CORRAL**  
LANDSCAPE ARCHITECT  
3001 SW 105TH COURT  
MIAMI, FLORIDA 33155  
Phone: (305) 551-1282 Fax: (305) 553-2588



**SUN-TECH ENGINEERING, INC.**  
ENGINEERS, PLANNERS, SURVEYORS  
1600 WEST OAKLAND PARK BOULEVARD  
FORT LAUDERDALE, FL 33311  
Phone: (954) 777-5123 FAX (954) 777-5114  
Certificate of Auth. # 7097



**ENGINEERING FOR ARCHITECTURE**  
800 FARWAY DRIVE - SUITE 250  
DEERFIELD BEACH, FL 33441  
Phone: (561) 418-9205 Fax: (561) 418-9200  
www.tic-engineers.com ED # 200015



**SITE PLAN SUBMITTAL**  
12.02.09

REVISIONS:

1	7/1/10	ADDED TO D.O.C. DETAIL
---	--------	------------------------

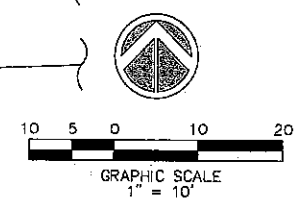
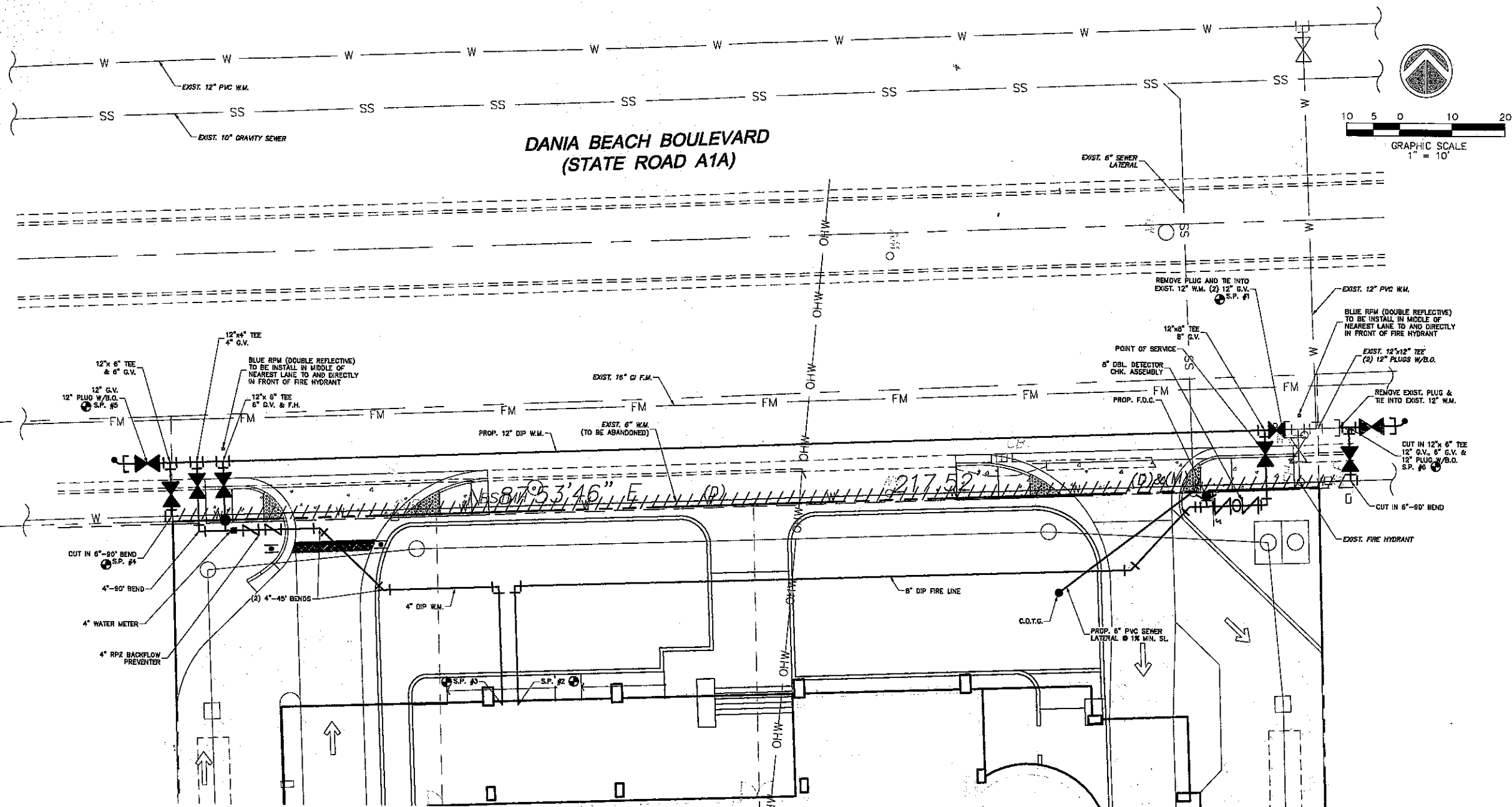
PROJECT NAME:  
**SAN SOUCI HOTEL PROJECT**  
**DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
400 EAST DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33004

COMM. NO. \_\_\_\_\_  
SCALE: 1" = 30'  
DATE: AUG. 2012  
DRAWN: MAS  
CHECKED: \_\_\_\_\_  
CADD FILE: \_3190ws1.dwg

DRAWING TITLE:  
**SCHEMATIC WATER & SEWER PLAN**

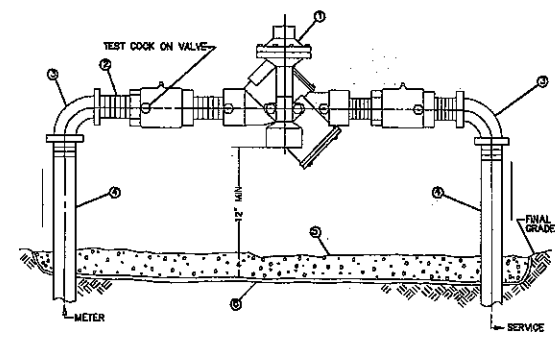
SHEET NO.  
**WS1**



**DANIA BEACH BOULEVARD  
(STATE ROAD A1A)**

**PROJECTED WATER AND SEWER DEMAND:**  
 STUDIO APARTMENT UNITS = 10 X 150 = 1,500 GPD  
 1&2 BEDROOM APARTMENT UNITS = 199 X 250GPD/UNIT = 49,750 GPD  
 3 BEDROOM APARTMENT UNITS = 28 X 300GPD/UNIT = 8,400 GPD  
**TOTAL = 59,650 GPD**

**PROJECTED GARBAGE DEMAND:**  
 237 APARTMENT UNITS @ 8.9LBS/UNIT/DAY = 2,109 LBS/DAY



ITEM	QUANTITY	MATERIALS DESCRIPTION
1	1	1\"/>

- WATER & SEWER LEGEND**
- DOUBLE WATER METER SERVICE
  - SINGLE WATER METER SERVICE
  - LENGTH, SIZE & TYPE OF WATER MAIN
  - FIRE HYDRANT GATE VALVE & TEE ASSEMBLY
  - PROPOSED GATE VALVE
  - BACTERIOLOGICAL SAMPLING POINT
  - EXISTING OR FUTURE UTILITIES
  - D.I.P. PIPE
  - RIM ELEVATION
  - INVERT ELEVATION
  - MANHOLE DESIGNATION
  - LENGTH & SLOPE OF PIPE
  - DOUBLE SEWER LATERAL
  - SINGLE SEWER LATERAL
  - CLEAN OUT TO GRADE

**(LISTED) DOUBLE DETECTOR CHECK**

**OWNERSHIP**  
**RG**  
 RILEA GROUP  
 1800 BRICKELL AVENUE, SUITE 1015  
 MIAMI, FL 33131  
 Phone: (305) 371-6294 Fax: (305) 371-6298

**ARCHITECTURE / PLANNING**  
**ba**  
 BERMELO AJAMIL & PARTNERS INC.  
 Architects Engineers Planning Interior Design Landscape Architecture  
 1 EAST BROWARD BLVD. SUITE 600  
 FORT LAUDERDALE, FL 33301  
 Phone: (354) 457-1113 Fax: (354) 457-1118  
 CDR of ARCHITECTURE REG. FL. REG. NO. 140000017

**LANDSCAPE ARCHITECTURE**  
**MC**  
 MARIANO CORRAL  
 LANDSCAPE ARCHITECT  
 3001 SW 100TH COURT  
 MIAMI, FLORIDA 33185  
 Phone: (305) 551-1282 Fax: (305) 553-2088

**CIVIL ENGINEERING**  
**SW TECH**  
 SUN-TECH ENGINEERING, INC.  
 ENGINEERS, PLANNERS, SURVEYORS  
 1600 WEST OAKLAND PARK BOULEVARD  
 FORT LAUDERDALE, FL 33311  
 Phone: (354) 777-5123 FAX: (354) 777-5114  
 Certificate of Auth. # 17007

**PHOTO-METRICS**  
**IC**  
 ENGINEERING FOR ARCHITECTURE  
 200 FARWAY DRIVE - SUITE 250  
 DEERFIELD BEACH, FL 33441  
 Phone: (561) 418-8098 Fax: (561) 418-8295  
 www.ic-engineers.com

Oct 01 2014  
 ALDO MEJIAS, P.E.  
 FL. REG. NO. 78419

**SITE PLAN SUBMITTAL**  
 12.02.09

**REVISIONS:**

1	7/1/10	ADDED TO D.D.C. DETAIL
---	--------	------------------------

**PROJECT NAME:**  
**SAN SOUCI HOTEL PROJECT**  
**DANIA BEACH, FLORIDA**

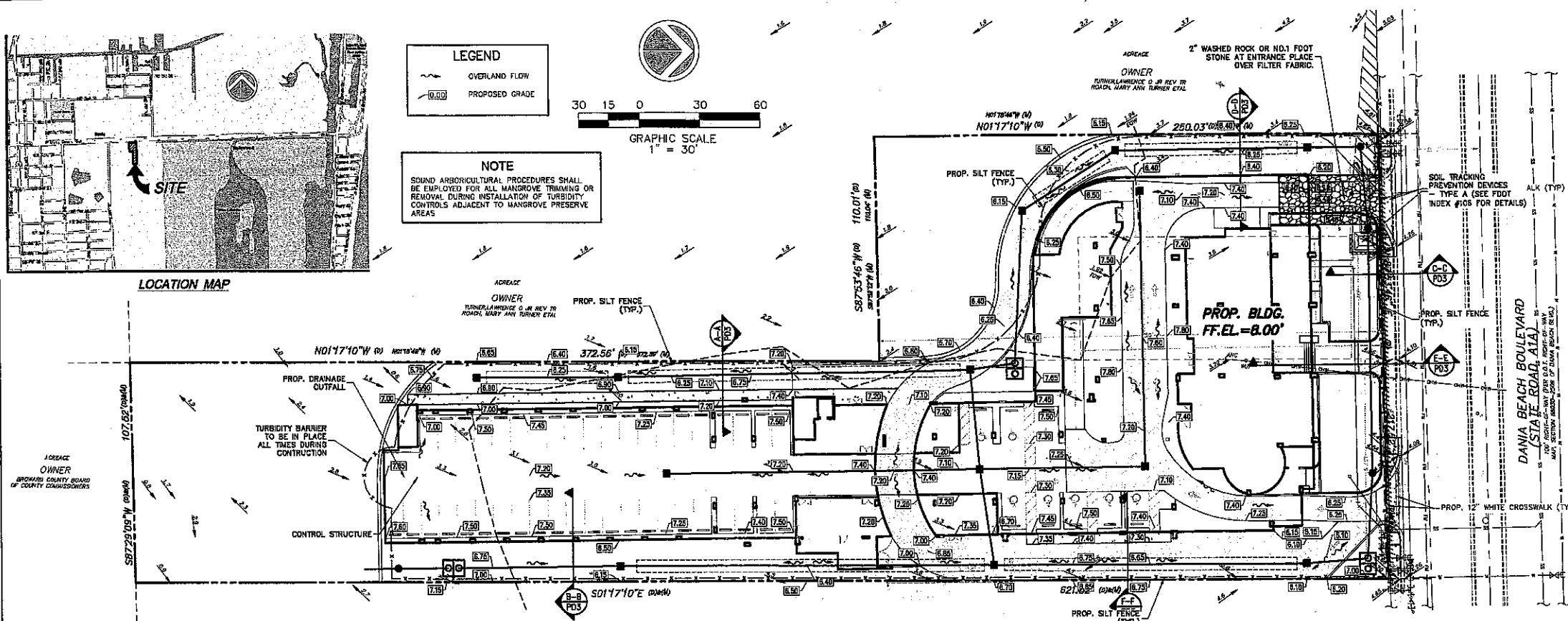
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 4610 DANIA BOULEVARD  
 DANIA BEACH, FLORIDA 33024

**COMM. NO.:** \_\_\_\_\_  
**SCALE:** 1" = 10'  
**DATE:** DEC. 2009  
**DRAWN:** M.S.  
**CHECKED:** \_\_\_\_\_  
**CADD FILE:** 3180WS.DWG

**DRAWING TITLE:**  
**SCHEMATIC WATER & SEWER PLAN**

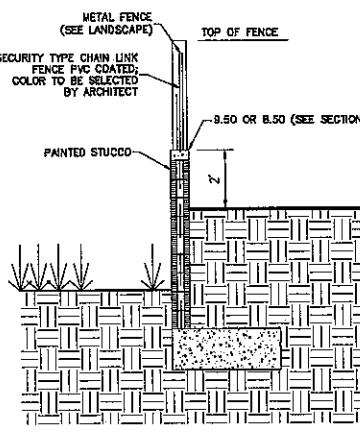
**SHEET NO.**  
**WS2**

CONTRACTOR: WSP CONSULTING, 11111 W. 11th Ave., Suite 100, Fort Lauderdale, FL 33324  
 DATE: 12/02/09  
 PROJECT: SAN SOUCI HOTEL PROJECT, DANIA BEACH, FLORIDA

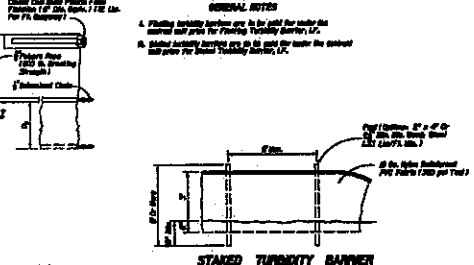
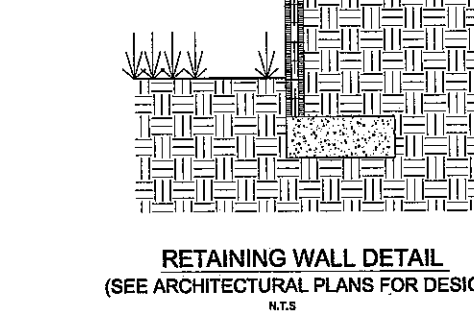
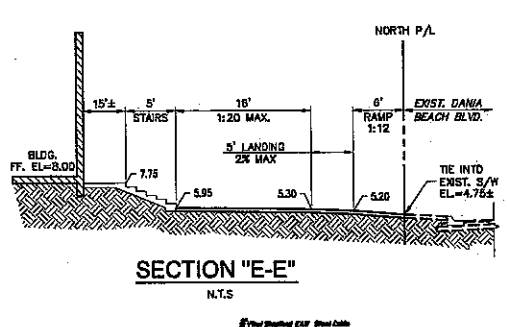
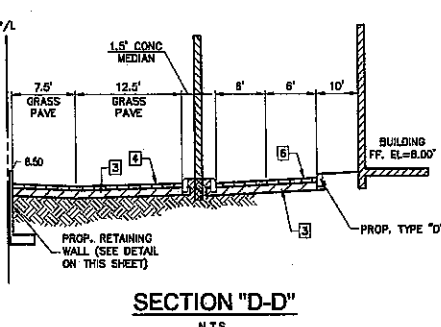
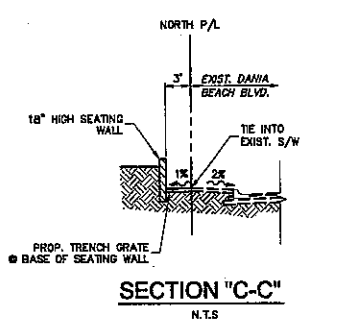
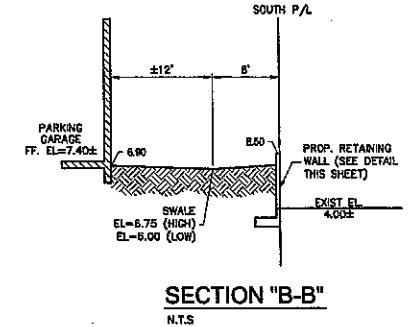
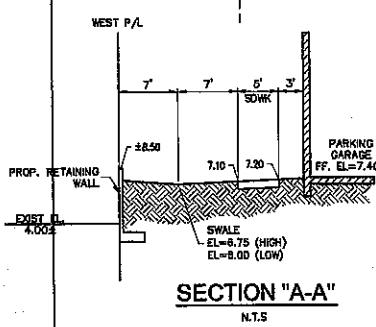


- NOTES:**
- PLACE FILTER FABRIC IN INLET GRATES AFTER INSTALLATION.
  - 2" WASHED ROCK OR FDOT NO.1 STONE AT ENTRANCE (SLOTT) SHALL BE A MINIMUM 50' LONG, 6" THICK AND PLACED OVER FILTER FABRIC.
  - AREAS THAT HAVE BEEN DISTURBED AND ARE INACTIVE FOR MORE THAN 7 DAYS SHALL BE STABILIZED WITH RYE GRASS AND/OR MULCH APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
  - DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE STABILIZED WITH PERMANENT SOO AND/OR SEEDING NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. PERMANENT SEEDING SHALL BE MULCHED IMMEDIATELY UPON COMPLETION OF SEED APPLICATION.
  - DRAINAGE SWALES OR EARTH DIKES SHALL BE CONSTRUCTED IF NECESSARY TO DIRECT SEDIMENT-LOADED RUNOFF TO THE SEDIMENT TRAP/BASIN(S).

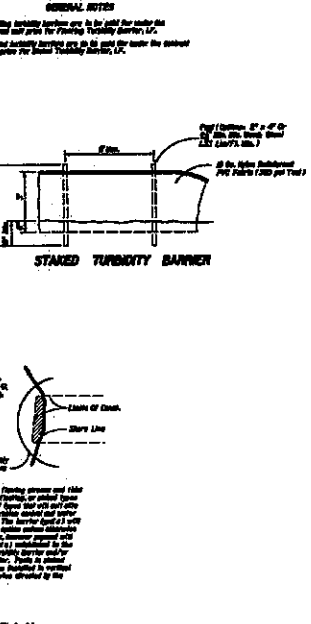
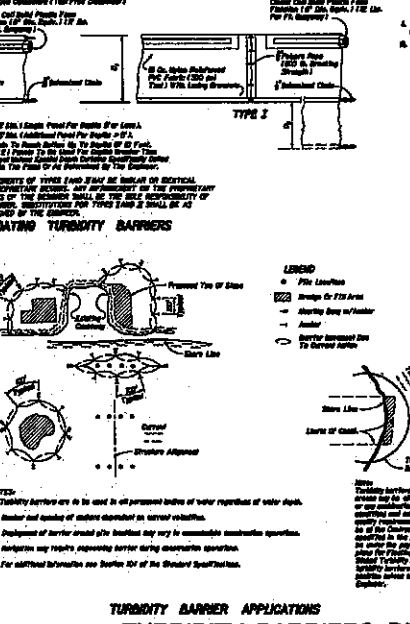
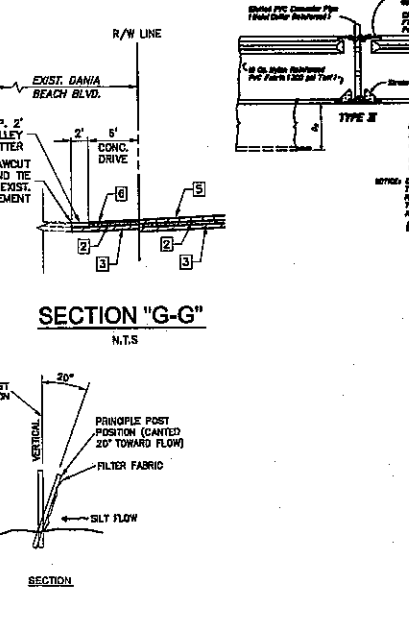
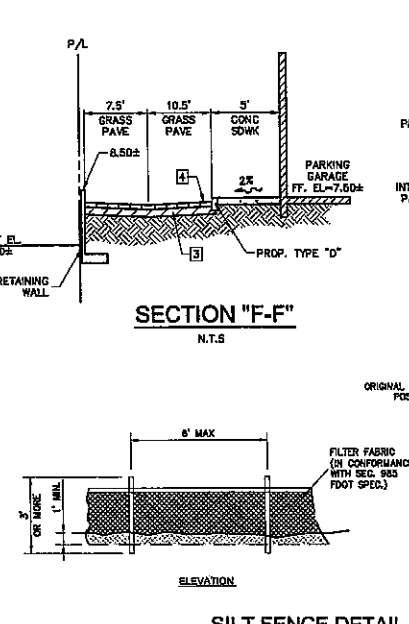
- NOTES:**
- THIS PLAN REFLECTS REQUIREMENTS APPLICABLE TO PROTECTING SURFACE WATER RESOURCES IN STORMWATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY STATE, TRIBAL OR LOCAL OFFICIALS.
  - SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED SO THAT SEDIMENT IS REMOVED FROM SEDIMENT BARRIERS WHEN THE DESIGN CAPACITY IS REDUCED BY 50%.
- TOTAL SITE = 2.17 Ac.  
 SITE AREA TO BE DISTURBED = 1.38 Ac.  
 WETLAND AREA TO BE MITIGATED = 0.79 Ac.
- RUNOFF COEFFICIENT "C"  
 BEFORE CONSTRUCTION = 0.40  
 DURING CONSTRUCTION = 0.65  
 AFTER CONSTRUCTION = 0.75



**RETAINING WALL DETAIL**  
(SEE ARCHITECTURAL PLANS FOR DESIGN)



- GENERAL NOTES:**
- A 12" WASHED ROCK OR FDOT NO.1 STONE SHALL BE CONSTRUCTED AT ALL LOCATIONS INDICATED BY THE DOTTED LINE SYMBOLS FROM THE UNDISTURBED SURFACE TO THE PROPOSED SURFACE GRADE. THE ROCK SHALL BE PLACED IN A MINIMUM 50' LONG, 6" THICK AND PLACED OVER FILTER FABRIC.
  - THE CONTRACTOR SHALL PROVIDE AN ALTERNATE METHOD TO REMOVE SEDIMENT FROM THE SURFACE OF THE SITE. THE ALTERNATE METHOD SHALL BE APPROVED BY THE DISTRICT ENGINEER TO THE SITE.
  - ALL MATERIALS SHALL BE STORED OR COVERED WITH PLYWOOD SHEETING TO PREVENT EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SITE.
  - APPROPRIATE SWALES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DISTRICT ENGINEER'S REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SITE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SITE.
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**OWNERSHIP**

**RG**

**RILEA GROUP**  
1000 BRICKELL AVENUE, SUITE 1015  
MIAMI, FL 33131  
Phone: (305) 371-5254 Fax: (305) 371-6225

**ARCHITECTURE / PLANNING**

**ba**

**BERMELLO AJAMIL & PARTNERS INC**  
Architecture Engineering Planning Interior Design Landscape Architecture  
1 EAST BROWARD BLVD, SUITE 900  
FORT LAUDERDALE, FL 33301  
Phone: (954) 457-1111 Fax: (954) 457-1115  
COPY OF ARCHITECTURE PLAN FOR THE DISTRICT ENGINEER'S OFFICE

**LANDSCAPE ARCHITECTURE**

**MC**

**MARIANO CORRAL**  
LANDSCAPE ARCHITECT  
3001 SW 109TH COURT  
MIAMI, FLORIDA 33185  
Phone: (305) 651-1292 Fax: (305) 558-2028

**CIVIL ENGINEERING**

**SUN TECH**

**SUN-TECH ENGINEERING, INC.**  
ENGINEERS, PLANNERS, SURVEYORS  
1500 WEST OAKLAND PARK BOULEVARD  
FORT LAUDERDALE, FL 33311  
Phone: (954) 777-5123 FAX: (954) 777-5114  
Certificate of Auth. # 7397

**PHOTO-METRICS**

**IC**

**ENGINEERING FOR ARCHITECTURE**  
600 FAIRWAY DRIVE - SUITE 250  
DEERFIELD BEACH, FL 33441  
Phone: (561) 418-0058 Fax: (561) 418-9296  
www.ic-engineers.com E-mail: info@ic-engineers.com

Oct 01 2014  
ALDO MEJIAS, P.E.  
FL. REG. NO. 75019

**SITE PLAN SUBMITTAL**  
12.02.09

REVISIONS:

1	11/22/10	SILT FENCE LOCATION FOR C.P.D.
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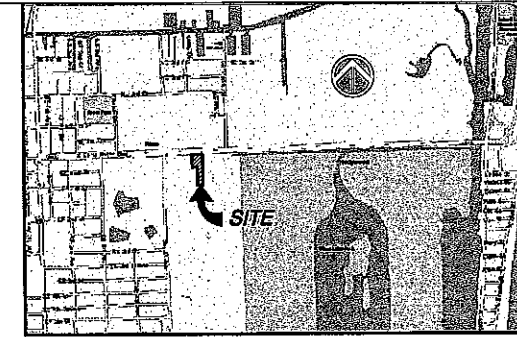
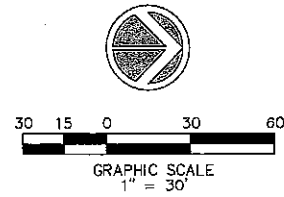
PROJECT NAME:  
**SAN SOUCI HOTEL PROJECT DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
4625 SW 109TH COURT  
MIAMI, FLORIDA 33185

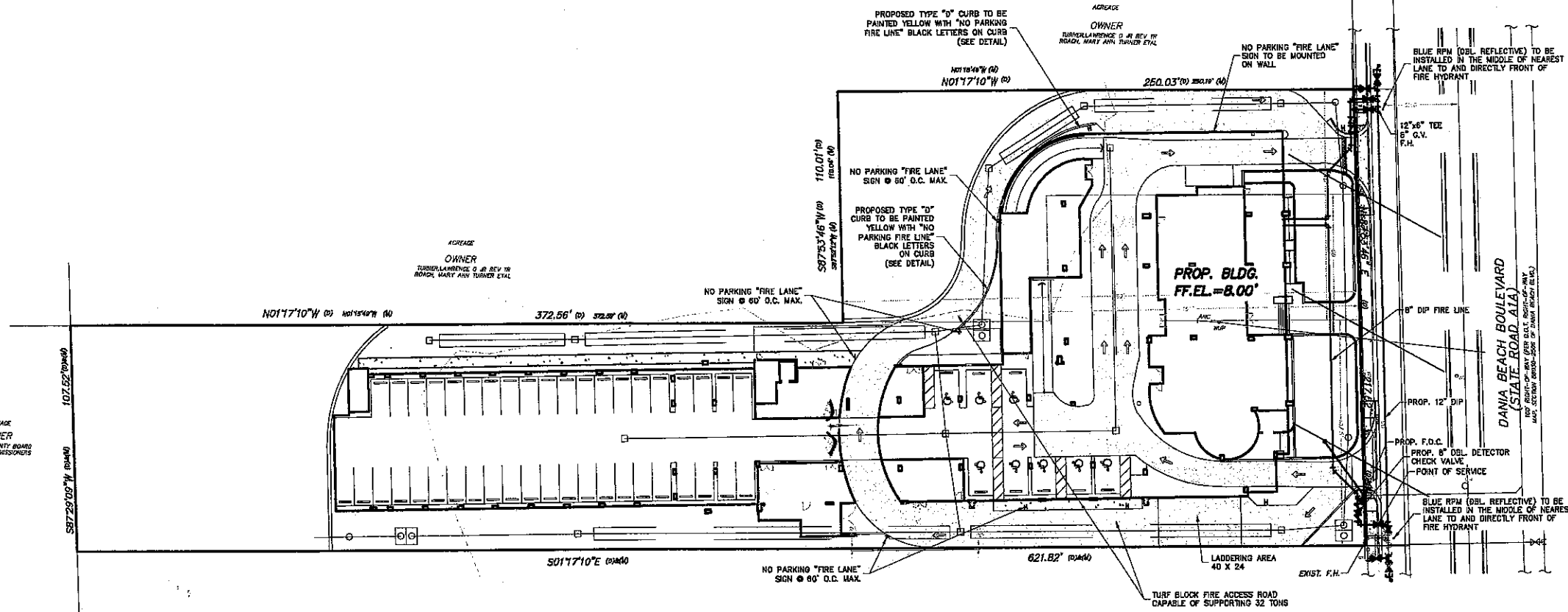
COMM. NO. N.T.S.  
SCALE: DEC. 2009  
DATE: MAS  
DRAWN: MAS  
CHECKED: 3198wpp.dwg  
CADD FILE:

DRAWING TITLE:  
**STORMWATER POLLUTION PREVENTION PLAN**

SHEET NO. **SPP1**



LOCATION MAP



- NOTES:**
1. REQUIRED FIRE LANES AND FIRE ACCESS ROADS SHALL HAVE A SURFACE DESIGNED TO ACCOMMODATE FIRE APPARATUS WITH A MINIMUM WEIGHT OF 32 TONS.
  2. ALL ELECTRIC GATES WILL BE PROVIDED WITH A KNOX KEY SWITCH AND EQUIPPED WITH A BATTERY PACK. THESE GATES ARE TO AUTOMATICALLY OPEN DURING EVENTS OF POWER FAILURE AND REMAIN OPENED UNTIL SUCH TIME POWER RETURNS.
  3. PLANS SHALL COMPLY WITH ALL REQUIREMENTS OF THE FLORIDA FIRE PREVENTION CODE, 2009 EDITION, THE BROWARD COUNTY AMMENDMENTS TO THE FLORIDA FIRE PREVENTION CODE 2009 EDITION, N.F.P.A. 101 (LIFE SAFETY CODE), 2009 EDITION AND N.F.P.A. 1 (UNIFORM FIRE CODE), 2009 EDITION. IT IS UNDERSTOOD THAT, IF ANY ITEM(S) IS OVERLOOKED IN THE PLAN REVIEW PROCESS AND DISCOVERED DURING THE FIELD INSPECTION IT MUST BE CORRECTED TO MEET THE ACTUAL CODE REQUIREMENTS.

**WATER & SEWER LEGEND**

	DOUBLE WATER METER SERVICE
	SINGLE WATER METER SERVICE
	LENGTH, SIZE & TYPE OF WATER MAIN
	FIRE HYDRANT, GATE VALVE & TEE ASSEMBLY
	PROPOSED GATE VALVE
	BACTERIOLOGICAL SAMPLING POINT
	8" W.M. EXISTING OR FUTURE UTILITIES
	D.I.P. PIPE
	R.E. RIM ELEVATION
	I.E. INVERT ELEVATION
	MANHOLE DESIGNATION
	LENGTH & SLOPE OF PIPE
	DOUBLE SEWER LATERAL
	SINGLE SEWER LATERAL
	CLEAN OUT TO GRADE



**RILEA GROUP**  
1000 BRICKELL AVENUE, SUITE 1015  
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**BERMELLO AJAMIL & PARTNERS INC**  
Architecture Engineering Planning Interior  
Design Landscape Architecture  
1 EAST BROWARD BLVD, SUITE 900  
FORT LAUDERDALE, FL 33301  
Phone: (954) 467-1113 Fax: (954) 467-1116  
COPY OF ARCHITECTURAL RECORD FL WITH B.L.G.C. LICENSE #111

LANDSCAPE ARCHITECTURE

**MC**  
**MARIANO CORRAL**  
LANDSCAPE ARCHITECT  
3001 SW 105TH COURT  
MIAMI, FLORIDA 33155  
Phone: (305) 551-1282 Fax: (305) 552-2288

CIVIL ENGINEERING

**SUN-TECH**  
**SUN-TECH ENGINEERING, INC.**  
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1600 WEST OAKLAND PARK BOULEVARD  
FORT LAUDERDALE, FL 33311  
Phone: (954) 777-3123 FAX: (954) 777-3114  
Certificate of Auth. # 7097

PHOTO-METRICS

**TIC**  
**ENGINEERING FOR ARCHITECTURE**  
800 FAIRWAY DRIVE - SUITE 250  
DEERFIELD BEACH, FL 33441  
Phone: (561) 416-9000 Fax: (561) 416-2295  
www.tic-engineers.com CD # 9000015

Oct 01 2014  
ALDO MEJIAS, P.E.  
FL. REG. NO. 75076

**SITE PLAN SUBMITTAL**  
12.02.09

REVISIONS:

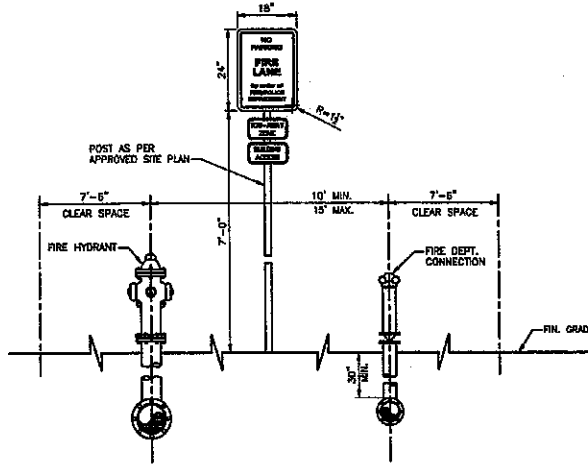

PROJECT NAME:  
**SAN SOUCI HOTEL PROJECT**  
**DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
441 EAST DANIA BEACH BOULEVARD  
DANIA BEACH, FLORIDA 33004

COMM. NO. \_\_\_\_\_  
SCALE: N.T.S.  
DATE: DEC. 2009  
DRAWN: MAS  
CHECKED: \_\_\_\_\_  
CADD FILE: 3190p.dwg

DRAWING TITLE:  
**FIRE PROTECTION PLAN**

SHEET NO. **FP1**

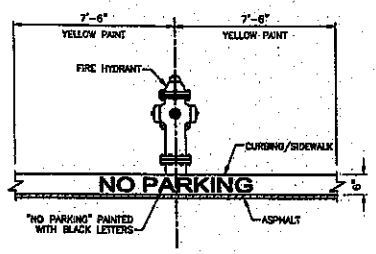


NOTE: FIRE HYDRANT AND F.D.C. SHALL BE ON THE SAME PLANE

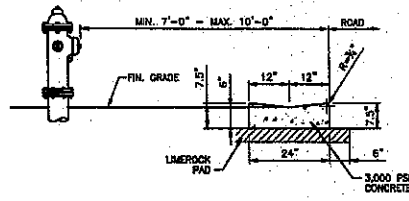
- NOTES:**
- FIRE LANE SIGN:
    - SIGNS SHALL HAVE A WHITE REFLECTORIZED BACKGROUND WITH RED OPAQUE LEGEND AND BORDER.
    - "FIRE LANE" LETTERS SHALL BE 1" AND ALL OTHER LETTERS SHALL BE 1" SERIES "C".
    - SIGNS SHALL BE MOUNTED ON POST AT LOCATIONS DEPICTED ON SITE PLAN AT A MAXIMUM HEIGHT OF 7'-0" FROM THE FINISHED GRADE TO THE BOTTOM PART OF THE SIGN.
  - TOW-AWAY ZONE SIGN AND BUILDING ADDRESS SIGN:
    - SIGNS SHALL BE A MINIMUM OF 6"x12" WHITE BACKGROUND WITH RED LETTERS MINIMUM LETTER SIZE TO BE ONE INCH.

**FIRE HYDRANT-FIRE DEPT. CONNECTION LOCATION DETAIL**

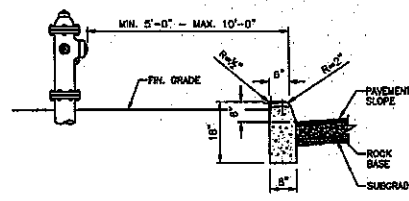
**TYPICAL CURB MARKING AT HYDRANT LOCATIONS**



**VALLEY CUTTER**

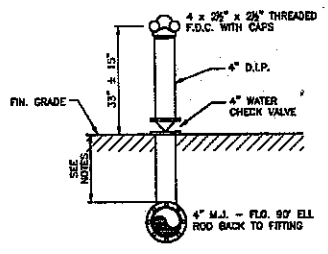


**TYPE "D" CURB**



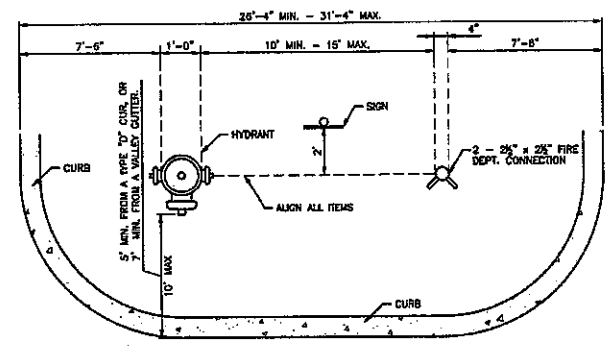
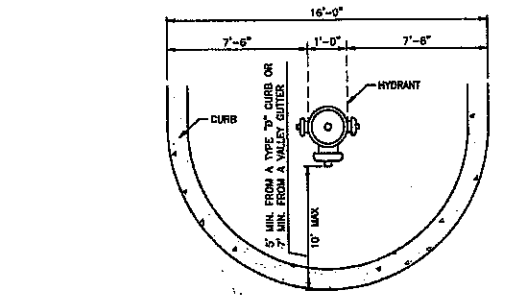
**STANDARD FIRE HYDRANT PLACEMENT DETAIL**

**NOTE:**  
CONTRACTOR TO PROVIDE SIGN AT EACH F.D.C. HAVING RAISED LETTERS AT LEAST 1 INCH IN HEIGHT THAT READS "STANDPIPE", "STANDPIPE AND AUTO SPKR" OR "AUTO SPKR AND STANDPIPE". THE SIGN SHALL ALSO INDICATE THE PRESSURE REQUIRED AT INLETS TO DELIVER THE SYSTEM DEMAND.

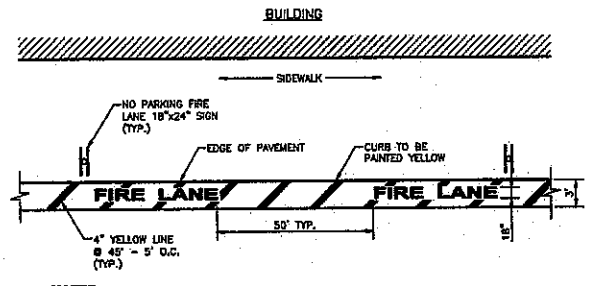


- NOTES:**
- DEPTH OF COVER TO TOP OF PVC UNDERGROUND PIPING SHALL BE NOT LESS THAN 36" MINIMUM.
  - DEPTH OF COVER TO TOP OF DIP UNDERGROUND PIPING SHALL BE NOT LESS THAN 30" MINIMUM.

**STANDARD FIRE DEPARTMENT CONNECTION DETAIL**

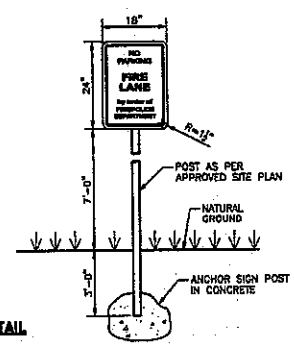


**TYP. FIRE HYDRANT/FIRE DEPT. CONNECTION ISLAND DETAIL (PLAN VIEW)**



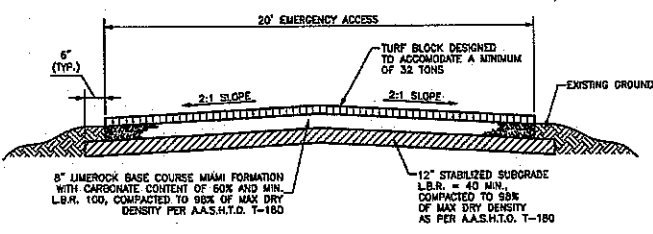
- NOTES:**
- ALL PAVEMENT MARKING SHALL BE OF THERMOPLASTIC PAINT.

**FIRE LANE STRIPING DETAIL**



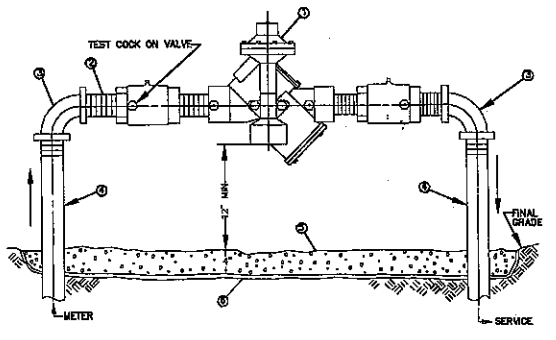
- NOTES:**
- "NO PARKING FIRE LANE" BY ORDER OF FIRE/POLICE DEPARTMENT SIGN AT MAX 75' O.C. SIGN TO BE 18"x24" W/ RED LETTERS ON WHITE BACKGROUND.
  - SIGN TO BE POSTED 7' ABOVE FINISHED GRADE ON B.C.T.E.D. STANDARD POST.

**FIRE LANE DETAIL**



- NOTES:**
- 12" STABILIZED SUBGRADE MIN. LBR 40 COMPACTED TO 98% A.A.S.H.T.O. T-180 CAPABLE OF SUPPORTING 32 TONS.
  - THE BASE COURSE SHALL BE LIMEROCK (70% CALCIUM), 6" THICK COMPACTED IN ACCORDANCE WITH A.A.S.H.T.O. SPECIFICATION T-180 TO 98% DENSITY.
  - ALL ORGANIC AND YIELDING MATERIAL WITHIN THE LIMITS SHOWN SHALL BE REMOVED AND REPLACED WITH CLEAN FILL. THE SUBBASE SHALL EXTEND 12" BELOW THE BASE COURSE. SHALL HAVE A MINIMUM DRY DENSITY OF 115 P.C.F. AND SHALL BE COMPACTED TO 98% OF MAXIMUM DRY DENSITY PER A.A.S.H.T.O. SPECIFICATION T-180, METHOD "C". MINIMUM LBR TO BE 40.

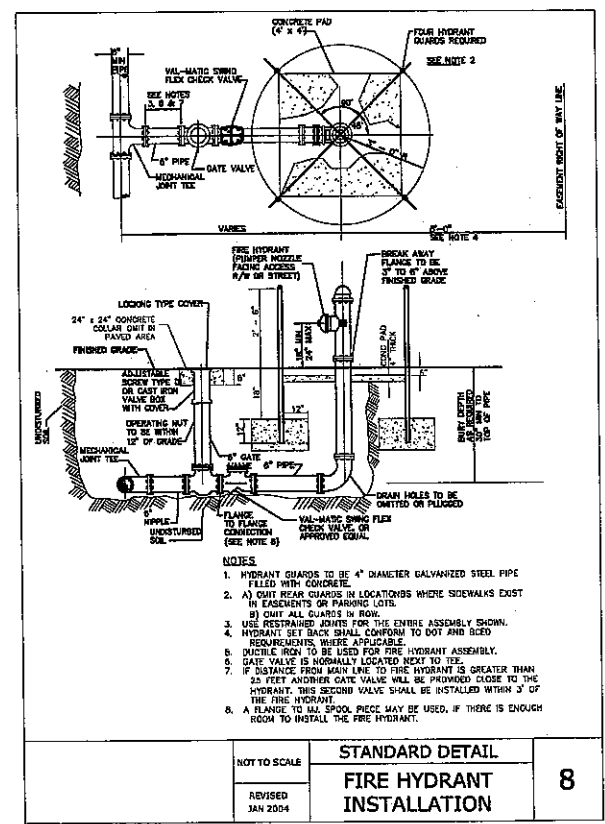
**EMERGENCY ACCESS ROADWAY DETAIL**



ITEM	QUANT	DESCRIPTION
1	1	1" BACKFLOW PREVENTER ASSEMBLY
2*	2	1" X 10' NIPPLES-BRASS OR COPPER
3	2	1" X 90° ELBOWS-BRASS OR COPPER
4	2	1" X VALVES BRASS OR COPPER
5	*	PEA GRAVEL
6	*	PLASTIC LINER

NOTES: \*INSTALL UNION (U) TO FACILITATE REMOVAL / INSTALLATION. INSTALLATION SHOWN ABOVE IS FOR A 1" SERVICE. CHANGE PIPING MATERIALS ACCORDINGLY FOR SERVICE SIZE.

**(LISTED) DOUBLE DETECTOR CHECK**



**STANDARD DETAIL FIRE HYDRANT INSTALLATION**

8

**OWNERSHIP**

**RG**

**RILEA GROUP**  
1000 PRECKELL AVENUE, SUITE 1015  
MIAMI, FL 33151  
Phone: (305) 271-8254 Fax: (305) 371-8228

**ARCHITECTURE / PLANNING**

**ba**

**BERMELLO AJAMIL & PARTNERS INC.**  
Architecture Engineering Planning Interior Design Landscape Architecture  
1 EAST BROWARD BLVD. SUITE 800  
FORT LAUDERDALE, FL 33301  
Phone: (954) 457-1153 Fax: (954) 457-1156  
CIVIL ARCHITECTURE

**LANDSCAPE ARCHITECTURE**

**MC**

**MARIANO CORRAL**  
LANDSCAPE ARCHITECT  
3001 SW 100TH COURT  
MIAMI, FLORIDA 33185  
Phone: (305) 551-1262 Fax: (305) 555-2058

**CIVIL ENGINEERING**

**SUN TECH**

**SUN-TECH ENGINEERING, INC.**  
ENGINEERS, PLANNERS, SURVEYORS  
1800 WEST OAKLAND PARK BOULEVARD  
FORT LAUDERDALE, FL 33311  
Phone: (954) 777-3125 FAX (954) 777-3114  
Certificate of Auth. # 7527

**PHOTO-METRICS**

**TC**

**ENGINEERING FOR ARCHITECTURE**  
500 PARKWAY DRIVE - SUITE 200  
DEERFIELD BEACH, FL 33441  
Phone: (561) 416-9096 Fax: (561) 418-9286  
www.EngineeringForArch.com  
EIT # 6002919

Oct 01 2014  
ALDO MEJIAS, P.E.  
FL. REG. NO. 76019

**SITE PLAN SUBMITTAL**  
12.02.09

REVISIONS:

1	7/1/10	ADDED TO O.D.C. DETAIL
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PROJECT NAME:  
**SAN SOUCI HOTEL PROJECT DANIA BEACH, FLORIDA**

PROJECT ADDRESS:  
46467 DANIA BEACH TRAILHEAD  
DANIA BEACH, FLORIDA 33094

COMM. NO.:  
SCALE: N.T.S.  
DATE: DEC. 2009  
DRAWN: MAS  
CHECKED:  
CADD FILE: 318fpdldwg

DRAWING TITLE:  
**FIRE PROTECTION DETAILS**

SHEET NO. **FP2**

FIRE PROTECTION NOTES

1. FIRE HYDRANTS
THE NUMBER AND TYPE OF FIRE HYDRANTS AND CONNECTIONS TO OTHER APPROVED WATER SUPPLIES SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW AND SHALL BE PROVIDED AT APPROVED LOCATIONS. NOTE: ALL NEW FIRE HYDRANTS SHALL BE COMPRESSION TYPE WITH THE BOTTOM VALVE OPENING TO BE FIVE AND ONE-FOURTH (5 1/4) INCHES IN DIAMETER. THEY SHALL BE ERRECTED SO AS TO HAVE THE CENTER OF THE STEAMER CONNECTION A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE NEAREST ROADWAY OR EIGHTEEN (18) INCHES ABOVE THE SURROUNDING GROUND AND WITH THE STEAMER OPENING OF FOUR AND ONE-HALF (4 1/2) INCHES (MAXIMUM HEIGHT) IN SIZE WITH FOUR (4) NATIONAL STANDARD THREADED PER INCH. ALL FIRE HYDRANTS SHALL BE "TRAFFIC TYPE" TO BREAKAWAY UPON IMPACT. THE FIRE HYDRANT MAIN BODY VALVE SHALL OPEN AGAINST THE FLOW AND SHALL CLOSE WITH THE FLOW. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1, 2009 EDITION SECTION 18.3.3)

2. FIRE HYDRANT CLEARANCE
CLEARANCES OF SEVEN AND ONE HALF FEET (7' 6") IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANTS, WITH A FOUR FOOT (4') CLEARANCE TO THE REAR. NOTE: NO PARKING SIGNS OR OTHER DESIGNATION INDICATING THAT PARKING IS PROHIBITED SHALL BE PROVIDED IN THE SEVEN AND ONE HALF FEET (7' 6") SPACE ON BOTH SIDES OF THE CENTER LINE OF THE HYDRANT. ALL PAVEMENT MARKINGS SHALL BE OF THERMOPLASTIC PAINT. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.3.4.1)

3. FIRE HYDRANT VISIBILITY AND ACCESS:
NO PERSON SHALL PLACE OR KEEP ANY POST, FENCE, VEHICLE, GROWTH, VEGETATION, TRASH OR STORAGE OR OTHER MATERIALS THAT WOULD OBSTRUCT A FIRE HYDRANT OR FIRE PROTECTION APPLIANCE AND HINDER OR PREVENT ITS IMMEDIATE USE BY FIRE DEPARTMENT PERSONNEL. NOTE: ONE (1) BLUE DOUBLE-REFLECTIVE DEPARTMENT OF TRANSPORTATION TYPE ROAD MARKER IS TO BE ADHERED TO THE HARD SURFACES ROADWAY IN THE MIDDLE OF THE LANE NEAREST TO AND DIRECTLY IN FRONT OF THE FIRE HYDRANTS. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.3.3.1)

4. FIRE HYDRANT STREET LOCATIONS:
THE NUMBER AND TYPE OF FIRE HYDRANTS AND CONNECTIONS TO OTHER APPROVED WATER SUPPLIES SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW AND SHALL BE PROVIDED AT APPROVED LOCATIONS. NOTE: EVERY STREET INTERSECTION SHALL HAVE ONE (1) FIRE HYDRANT ON AT LEAST ONE (1) CORNER OF THE INTERSECTION UNLESS SITUATED AT FOUR-LANE OR MORE DIVIDED TRAFFICWAY WHERE TWO (2) HYDRANTS WILL BE REQUIRED. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1, 2009 EDITION SECTION 18.3.3)

5. FIRE HYDRANT LOCATION:
CLEARANCES OF SEVEN AND ONE HALF FEET (7' 6") IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANTS, WITH A FOUR FOOT (4') CLEARANCE TO THE REAR. NOTE: FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF FIVE (5) FEET AND A MAXIMUM OF TEN (10) FEET FROM THE CURB LINE OF FIRE LANES, STREETS, OR PRIVATE STREETS WHEN INSTALLED ALONG SUCH ACCESS WAYS. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.3.4.1)

6. FIRE HYDRANT SPACING:
THE NUMBER AND TYPE OF FIRE HYDRANTS AND CONNECTIONS TO OTHER APPROVED WATER SUPPLIES SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW AND SHALL BE PROVIDED AT APPROVED LOCATIONS. NOTE: IN HIGH VALUE OR HIGH LIFE HAZARD DISTRICTS, THE INTERMEDIATE DISTANCE BETWEEN HYDRANTS SHALL NOT EXCEED 300 FEET WITH HYDRANTS SO LOCATED THAT ALL BUILDINGS CAN BE REACHED BY COMPATIVELY SHORT HOSE LINES FROM MORE THAN ONE HYDRANT. IN SINGLE FAMILY RESIDENTIAL DISTRICTS, THE INTERMEDIATE DISTANCE BETWEEN HYDRANTS CANNOT EXCEED 500 FEET. THE DISTANCE FROM MEASURE SHALL BE BY CENTER LINE OF TRAFFIC-WAY AS THE FIRE APPARATUS WOULD NORMALLY TRAVEL AND/OR DRIVEWAY ACCESS ON THE PROPERTY WHERE ADDITIONAL HYDRANTS ARE TO BE LOCATED ON PRIVATE PROPERTY WHERE THE APPARATUS WOULD NORMALLY TRAVEL. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1, 2009 EDITION SECTION 18.3.3)

7. FIRE HYDRANTS SPACING FROM EXTERIOR WALLS:
THE NUMBER AND TYPE OF FIRE HYDRANTS AND CONNECTIONS TO OTHER APPROVED WATER SUPPLIES SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW AND SHALL BE PROVIDED AT APPROVED LOCATIONS. NOTE: IN ALL NEW COMMERCIAL BUILDINGS, A HYDRANT SHALL BE INSTALLED WITHIN 300 FEET OF ANY PORTION OF THE EXTERIOR OF THE STRUCTURE. THE DISTANCE FOR MEASURE SHALL BE BY CENTER LINE OF TRAFFIC-WAY AS THE FIRE APPARATUS WOULD NORMALLY TRAVEL AND/OR DRIVEWAY ACCESS ON THE PROPERTY WHERE ADDITIONAL HYDRANTS ARE TO BE LOCATED ON PRIVATE PROPERTY WHERE THE APPARATUS WOULD NORMALLY TRAVEL. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1, 2009 EDITION SECTION 18.3.3)

8. FIRE HYDRANT PLACEMENT FOR PROTECTION REGARDING WALL COLLAPSE:
HYDRANTS SHALL BE LOCATED NOT LESS THAN 40 FEET (12.2 M) FROM THE BUILDINGS TO BE PROTECTED. NOTE: HYDRANTS MAY BE PLACED IN LOCATIONS NOT SUBJECT TO COLLAPSE WITH THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION. (NFPA 244 2002 EDITION SECTION 7.2.3)

9. FIRE HYDRANT PROTECTION:
HYDRANTS SHALL BE PROTECTED IF SUBJECT TO MECHANICAL DAMAGE... NOTE: FIRE HYDRANTS LOCATED IN PARKING AREAS SHALL BE PROTECTED BY A PERMANENT BARRIER APPROVED BY THE FIRE CODE OFFICIAL THAT WILL PREVENT PHYSICAL DAMAGE FROM VEHICLES IF LOCATED CLOSER THAN 5' FROM THE CURB. (NFPA 244 2002 EDITION SECTION 7.3.5)

10. COLOR CODING OF FIRE HYDRANTS:
HYDRANTS SHOULD BE CLASSIFIED IN ACCORDANCE WITH THEIR RATED CAPACITIES (AT 20 PSI RESIDUAL PRESSURE OR OTHER DESIGNATED VALUE) AS FOLLOWS:

CLASS	FLOW	COLOR OF BONNETS
AA	1500 GPM OR GREATER	LIGHT BLUE
A	1,000-1499 GPM	GREEN
B	500-999 GPM	ORANGE
C	LESS THAN 500 GPM	RED

COLOR CODING OF HYDRANTS SHALL BE INDICATED BY THE GALLONS PER MINUTE FLOW. ALL BARRELS ARE TO BE CHROME YELLOW... (NFPA 291 2002 EDITION, SECTIONS 6.1, 6.2.1, 6.2.1.2)

11. BACK-FLOW PREVENTOR LOCATION:
THE INSTALLATION OF DEVICES TO PROTECT THE PUBLIC WATER SUPPLY FROM CONTAMINATION SHALL COMPLY WITH THE PROVISIONS OF NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, OR NFPA 24, STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES, AND THE PLUMBING CODE OF THE JURISDICTION. NOTE: ALL BACKFLOW PREVENTORS SHALL BE INSTALLED ABOVE GROUND. POST INDICATOR VALVES SHALL BE LOCATED NOT LESS THAN 40 FEET (12.2 M) FROM BUILDINGS. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1, 2009 EDITION, SECTION 13.5.3, NFPA 24 2002 EDITION SECTION 5.3.3.1)

12. BACK-FLOW PREVENTOR PROTECTION:
THE INSTALLATION OF DEVICES TO PROTECT THE PUBLIC WATER SUPPLY FROM CONTAMINATION SHALL COMPLY WITH THE PROVISIONS OF NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, OR NFPA 24, STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES, AND THE PLUMBING CODE OF THE JURISDICTION. NOTE: ALL BACKFLOW PREVENTORS MUST BE PROTECTED BY A PERMANENT BARRIER AS APPROVED BY THE FIRE CODE OFFICIAL. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1, 2009 EDITION, SECTION 13.5.3)

13. BACK-FLOW PREVENTOR SUPERVISION:
WHERE AN AUTOMATIC SPRINKLER SYSTEM IS PROVIDED EITHER AS A REQUIREMENT OR AS AN ALTERNATE TO ANOTHER REQUIREMENT OF THIS CODE, THE SYSTEM SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY, AUXILIARY, OR REMOTE STATION SYSTEM IN ACCORDANCE WITH NFPA 72. NOTE: ALL REQUIRED BACKFLOW PREVENTOR CONTROL VALVES SHALL BE MONITORED BY AN ELECTRONIC TAMPER SWITCH CONNECTED TO A CENTRAL ALARM SERVICE.

(FLORIDA BUILDING CODE SECTION 903.9.1)

14. FIRE PROTECTION APPLIANCE CLEARANCE
CLEARANCES OF SEVEN AND ONE HALF FEET (7' 6") IN FRONT OF AND TO THE SIDES OF THE FIRE PROTECTION APPLIANCES. NOTE: SIGNS OR OTHER DESIGNATION INDICATING THAT PARKING IS PROHIBITED SHALL BE PROVIDED IN THE SEVEN AND ONE HALF FEET (7' 6") SPACE ON BOTH SIDES OF THE CENTER LINE OF THE BACKFLOW PREVENTOR. ALL PAVEMENT MARKINGS SHALL BE OF THERMOPLASTIC PAINT. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.3.4.2)

15. POINT OF SERVICE
"POINT-OF-SERVICE" THE POINT AT WHICH THE UNDERGROUND PIPING FOR A SPRINKLER SYSTEM USING WATER AS THE EXTINGUISHING AGENT BECOMES USED EXCLUSIVELY FOR THE SPRINKLER SYSTEM. THE POINT-OF-SERVICE IS DESIGNATED BY THE ENGINEER WHO SEALED THE PLANS FOR A SYSTEM OF 50 OR MORE HEADS OR BY THE CONTRACTOR WHO DESIGNED THE PLANS FOR A SYSTEM OF 49 OR FEWER HEADS. F.S. CH. 633.02(17)

16. DEPTH OF COVER
THE DEPTH OF COVER OVER WATER PIPES SHALL BE DETERMINED BY THE MAXIMUM DEPTH OF FROST PENETRATION IN THE LOCALITY WHERE THE PIPE IS LAID. THE TOP OF THE PIPE SHALL BE BURIED NOT LESS THAN 1 FT (0.3 M) BELOW THE FROST LINE FOR THE LOCALITY. IN THOSE LOCATIONS WHERE FROST IS NOT A FACTOR, THE DEPTH OF COVER SHALL BE NOT LESS THAN 21/2 FT (0.8 M) TO PREVENT MECHANICAL DAMAGE. PIPE UNDER DRIVEWAYS SHALL BE BURIED A MINIMUM OF 3 FT (0.9 M) AND UNDER RAILROAD TRACKS A MINIMUM OF 4 FT (1.2 M). (NFPA 24 2002 EDITION SECTION 10.4)

17. FIRE DEPARTMENT CONNECTION LOCATION:
FIRE DEPARTMENT CONNECTIONS SHALL BE ON THE STREET SIDE OF BUILDINGS, FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET OR NEAREST POINT OF FIRE DEPARTMENT APPARATUS ACCESSIBILITY, AND SHALL BE LOCATED AND ARRANGED SO THAT HOSE LINES CAN BE ATTACHED TO THE INLETS WITHOUT INTERFERENCE FROM NEARBY OBJECTS, INCLUDING BUILDINGS, FENCES, POSTS, OR OTHER FIRE DEPARTMENT CONNECTIONS.

FIRE DEPARTMENT CONNECTIONS FOR AUTOMATIC SPRINKLER SYSTEMS, STANDPIPES OR OTHER SYSTEMS FURNISHING WATER FOR FIRE EXTINGUISHMENT SHALL BE LOCATED BETWEEN 10 FEET AND 15 FEET FROM A FIRE HYDRANT.

THE FIRE DEPARTMENT CONNECTION AND THE NEAREST FIRE HYDRANT SHALL BE LOCATED ON THE SAME PLANE AND SIDE OF THE ROADWAY OR FIRE LANE.

FIRE DEPARTMENT CONNECTIONS AND THE NEAREST HYDRANT SHALL BE LOCATED A MINIMUM OF SEVEN FEET SIX INCHES (7'6") AND A MAXIMUM OF TEN FEET (10') FROM THE CURB LINE OF FIRE LANES, STREETS.

FIRE DEPARTMENT CONNECTIONS AND ASSOCIATED FIRE HYDRANT SHALL BE LOCATED SO THAT THE FIRE DEPARTMENT CONNECTION IS PASSED PRIOR TO REACHING THE FIRE HYDRANT.

(FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1, 2009 EDITION SECTION 18.3.3, NFPA 14, 2007 EDITION SECTION 6.3.5.1)

18. FIRE DEPARTMENT CONNECTION INSTALLATION:
FIRE DEPARTMENT CONNECTION SHALL BE LOCATED NOT LESS THAN 18 INCHES (48) MORE THAN 48 INCHES ABOVE THE LEVEL OF THE ADJOINING GROUND, SIDEWALK, OR GRADE SURFACE. LOCATION OF ALL STAMPEE CONNECTIONS SHALL BE APPROVED BY THE FIRE DEPARTMENT. ALL HOSE CONNECTION AND FIRE DEPARTMENT CONNECTION THREADED SHALL BE TESTED TO VERIFY THEIR COMPATIBILITY WITH THREADED USED BY THE LOCAL FIRE DEPARTMENT. NOTE: TWO AND ONE-HALF INCH N.S.T. HOSE CONNECTIONS ARE REQUIRED. (NFPA 14 2007 EDITION SECTIONS 6.3.6, 11.3.1)

19. FIRE DEPARTMENT CONNECTION ACCESS:
CLEARANCES OF SEVEN AND ONE HALF FEET (7' 6") ON IN FRONT OF AND TO THE SIDES OF THE FIRE DEPARTMENT CONNECTION MUST BE MAINTAINED AT ALL TIMES. FIRE DEPARTMENT CONNECTIONS SHALL BE IDENTIFIED BY A SIGN THAT STATE NO PARKING, FIRE DEPARTMENT CONNECTION AND SHALL BE DESIGNED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS FOR INFORMATION SIGNAGE. NOTE: SIGNS SHALL BE PROVIDED FOLLOWING THESE GUIDELINES: 240 (HEIGHT) BY 180 (WIDTH), WHITE BACKGROUND WITH RED LETTERS. SIGNS SHALL BE SEVEN (7') FEET IN HEIGHT FROM THE ROADWAY TO THE BOTTOM OF THE SIGN. THE BUILDING SERVED BY THE FIRE DEPARTMENT CONNECTION SHALL HAVE ITS COMPLETE ADDRESS ATTACHED TO THE FREE STANDING SIGN. THE AREA IN FRONT OF THE FIRE DEPARTMENT CONNECTION SHALL BE DESIGNATED BY YELLOW PAINTING, STRIPING, OR MARKINGS ON THE CURBS AND ROADWAYS. ALL PAVEMENT MARKINGS SHALL BE OF THERMOPLASTIC PAINT. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.3.4.3)

EMERGENCY ACCESS FOR FIRE DEPARTMENT EQUIPMENT AND OPERATIONS

1. A FIRE DEPARTMENT ACCESS ROAD IS THE ROAD OR OTHER MEANS DEVELOPED TO ALLOW ACCESS AND OPERATIONAL SETUP FOR FIRE-FIGHTING AND RESCUE OPERATIONS. NOTE: MEANS OF ACCESS FOR FIRE DEPARTMENT APPARATUS SHALL CONSIST OF FIRE LANES, PRIVATE STREETS, STREETS, PARKING LOT LANES OR A COMBINATION THEREOF. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 3.3.5.7)

2. FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 18.2 FOR EVERY FACILITY, BUILDING, OR PORTION OF A BUILDING HEREFTER CONSTRUCTED OR RELOCATED. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.2.2.1)

3. FIRE ACCESS ROADS SHALL BE SURFACED WITH SOLID PAVEMENT, GRASS TURF REINFORCED BY CONCRETE GRIDS, OR BY SIMILAR TYPE SURFACES APPROVED BY THE AUTHORITY HAVING JURISDICTION, DESIGNED TO ACCOMMODATE FIRE APPARATUS WEIGHING A MINIMUM OF 32 TONS. NOTE: GRASS OR SOD OVER A FIRE ACCESS ROAD IS NOT ACCEPTABLE. (FLORIDA FIRE PREVENTION CODE BROWARD COUNTY AMENDMENTS SECTION F-17.1)

4. THE TURNING RADIUS OF A FIRE DEPARTMENT ACCESS ROAD SHALL BE AS APPROVED BY THE AHJ. NOTE: TURNS IN THE MEANS OF ACCESS SHALL MAINTAIN THE MINIMUM ROAD WIDTH. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.2.2.5.3)

5. THE TURNING RADIUS OF A FIRE DEPARTMENT ACCESS ROAD SHALL BE AS APPROVED BY THE AHJ. NOTE: TURNS IN MEANS OF ACCESS SHALL BE CONSTRUCTED WITH A MINIMUM RADIUS OF 25 FEET AT THE INSIDE CURB LINE AND A RADIUS OF 50 FEET AT THE OUTSIDE CURB LINE. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.2.2.5.3)

6. FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FT AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13' 6". MINIMUM WIDTH MAY BE REDUCED TO MEET SPECIAL ACCESS WITH THE APPROVAL OF THE FIRE OFFICIAL. NOTE: GRASS OR SOD OVER A FIRE ACCESS ROAD IS NOT ACCEPTABLE. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.2.2.5.1)

7. WHERE REQUIRED BY THE AHJ, APPROVED SIGNS OR OTHER APPROVED NOTICES SHALL BE PROVIDED AND MAINTAINED FOR FIRE DEPARTMENT ACCESS ROADS TO IDENTIFY SUCH ROADS, OR PROHIBIT THE OBSTRUCTION THEREOF OR BOTH. NOTE: NO PARKING SIGNS OR APPROVED DESIGNATION INDICATING THAT PARKING IS PROHIBITED SHALL BE PROVIDED AT ALL NORMAL AND EMERGENCY ACCESS POINTS INTO RESIDENTIAL DEVELOPMENTS. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.2.2.6.7)

8. MORE THAN ONE FIRE DEPARTMENT ACCESS ROAD SHALL BE PROVIDED WHEN IT IS DETERMINED BY THE AHJ THAT ACCESS BY A SINGLE ROAD COULD BE IMPAIRED BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATIC CONDITIONS,

OR OTHER FACTORS THAT COULD LIMIT ACCESS. NOTE: RESIDENTIAL DEVELOPMENTS SHALL HAVE A MINIMUM OF ONE PRIMARY ACCESS ROAD. A SECONDARY ACCESS ROAD SHALL BE REQUIRED IN RESIDENTIAL COMMUNITIES WITH MORE THAN 100 SINGLE-FAMILY DWELLING UNITS OR 150 MULTI-FAMILY DWELLING UNITS. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.2.2.4)

9. MORE THAN ONE FIRE DEPARTMENT ACCESS ROAD SHALL BE PROVIDED WHEN IT IS DETERMINED BY THE AHJ THAT ACCESS BY A SINGLE ROAD COULD BE IMPAIRED BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATIC CONDITIONS, OR OTHER FACTORS THAT COULD LIMIT ACCESS. NOTE: THE SECONDARY ACCESS ROAD, IF REQUIRED, SHALL BE A MINIMUM OF 14 FEET IN UNOBSTRUCTED WIDTH AND SHALL BE SURFACED WITH SOLID PAVEMENT, GRASS TURF REINFORCED BY CONCRETE GRIDS OR BY SIMILAR SURFACES APPROVED BY THE AUTHORITY HAVING JURISDICTION DESIGNED TO ACCOMMODATE FIRE APPARATUS WEIGHING A MINIMUM OF 32 TONS. NOTE: GRASS OR SOD OVER A FIRE ACCESS ROAD IS NOT ACCEPTABLE. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.2.2.4, BROWARD COUNTY AMENDMENTS SECTION F-17.1)

10. DEAD-END FIRE DEPARTMENT ACCESS ROADS IN EXCESS OF 150 FT IN LENGTH SHALL BE PROVIDED WITH APPROVED PROVISIONS FOR THE TURNING AROUND OF FIRE APPARATUS. NOTE: THE CLOSED END SHALL BE PROVIDED WITH A TURNAROUND NO LESS THAN 100 FEET IN DIAMETER. EXCEPTION: A SECONDARY ACCESS ROAD THAT IS NOT REQUIRED FOR FIRE DEPARTMENT ACCESS OR OPERATIONS AND IS LESS THAN 50 FEET IN LENGTH MEASURE FROM THE CLOSED END TO THE CENTER OF THE RIGHT-OF-WAY. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.2.2.5.4)

11. REQUIRED FIRE LANES SHALL BE PROVIDED WITH THE INNER EDGE OF THE ROADWAY NO CLOSER THAN 10 FEET AND NO FURTHER THAN 30 FEET FROM THE BUILDING. SUCH LANES SHALL HAVE A SURFACE DESIGNED TO ACCOMMODATE FIRE APPARATUS WITH A MINIMUM WEIGHT OF 32 TONS. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.2.1.3)

12. WHERE REQUIRED BY THE AHJ, APPROVED SIGNS OR OTHER APPROVED NOTICES SHALL BE PROVIDED AND MAINTAINED FOR FIRE DEPARTMENT ACCESS ROADS TO IDENTIFY SUCH ROADS, OR PROHIBIT THE OBSTRUCTION THEREOF, OR BOTH. FIRE LANES SHALL BE MARKED WITH FREESTANDING SIGNS WITH THE WORDING "NO PARKING FIRE LANE" BY ORDER OF THE FIRE/POLICE DEPARTMENT. (THE SIGNS SHALL BE EIGHTEEN INCHES (18) BY TWENTY-FOUR INCHES (24), WITH WHITE BACKGROUND AND RED LETTERS. SIGNS SHALL BE A MAXIMUM OF SEVEN FEET (7') IN HEIGHT FROM THE ROADWAY TO THE BOTTOM PART OF THE FIRE LANE'S SIGNS. SUCH SIGNS SHALL FACE THE TRAFFIC FLOW AND BE NO FURTHER THAN 60 FEET APART. NOTE: BUILDINGS WHICH HAVE A SETBACK OF MORE THAN 150 FEET FROM A PUBLIC ROADWAY, OR HAVE A SETBACK OF MORE THAN 50 FEET AND ARE MORE THAN 30 FEET IN HEIGHT SHALL BE PROVIDED WITH A DESIGNATED FIRE LANE. FIRE LANES MAY ALSO BE MARKED BY YELLOW PAINTING, STRIPING, OR MARKING OF CURBS AND ROADWAY BETWEEN EACH FIRE LANE. SIGNS TO ENSURE THAT THE MINIMUM ROAD WIDTH IS NOT OBSTRUCTED. (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 18.2.2.5.7, 18.2.2.5.8)

ACCESS GATES

1. THE AUTHORITY HAVING JURISDICTION SHALL HAVE THE AUTHORITY TO REQUIRE FIRE DEPARTMENT ACCESS BE PROVIDED TO GATED SUBDIVISION OR DEVELOPMENTS THROUGH THE USE OF AN APPROVED DEVICE OR SYSTEM (FLORIDA FIRE PREVENTION CODE 2012 EDITION, NFPA 1 2009 EDITION SECTION 10.12.2)

ACCESS GATES SHALL BE PROVIDED WITH A KEYPAD ENTRY SYSTEM INSTALLED IN AN ACCESSIBLE LOCATION. A CODED NUMBER WILL BE DESIGNATED BY THE FIRE CHIEF AND POLICE CHIEF FOR FIRE AND POLICE DEPARTMENT ENTRY.

ALL ACCESS GATES SHALL BE DESIGNED TO PROVIDE AUTOMATIC ENTRY FOR FIRE APPARATUS IN THE FORM OF SIREN ACTIVATION, SCANNERS OR OTHER APPROVED METHODS.

ALL ACCESS GATES SHALL BE DESIGNED TO UNLOCK WITH A READILY ACCESSIBLE MANUAL RELEASING DEVICE.

DURING A POWER FAILURE, ALL ACCESS GATES SHALL BE DESIGNED TO FAIL IN THE OPEN POSITION.

A KEY BOX SHALL BE INSTALLED AT THE GATE IN ALL GATED COMMUNITIES. THE KEY BOX SHALL BE A TYPE APPROVED BY THE FIRE CHIEF.

FIRE PROTECTION DURING CONSTRUCTION

1. EVERY BUILDING SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY WAY OF ACCESS ROADWAYS WITH AN ALL-WEATHER DRIVING SURFACE OF NOT LESS THAN 20 FT (6 M) OF UNOBSTRUCTED WIDTH TO WITHSTAND THE LIVE LOADS OF FIRE APPARATUS AND HAVING A MINIMUM OF 13 FT 6 IN (4 M) OF VERTICAL CLEARANCE. DEAD-END FIRE DEPARTMENT ACCESS ROADS IN EXCESS OF 150 FT (45 M) IN LENGTH SHALL BE PROVIDED WITH APPROVED PROVISIONS FOR THE TURNING AROUND OF FIRE DEPARTMENT APPARATUS. (NFPA 241 2004 EDITION SECTIONS 7.5.5.1 & 7.5.5.2)

2. WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION WORK. (NFPA 241 2004 EDITION SECTION 8.7.2.3)

NOTE 1: THE CONTRACTOR WILL BE RESPONSIBLE FOR VISIBLY INDICATING THAT HYDRANTS ARE OUT OF SERVICE, THE OUT OF SERVICE DESIGNATION MUST REMAIN ON THE HYDRANT UNTIL THE HYDRANTS ARE ACCEPTED BY THE ENGINEERING DEPARTMENT. OUT OF SERVICE RINGS OR OTHER APPROVED METHODS MUST BE USED TO IDENTIFY THE OUT OF SERVICE HYDRANTS.

NOTE 2: THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND CITY OF DANIA BEACH FIRE AND ENGINEERING DEPARTMENTS 24 HOURS PRIOR TO TESTING. A REPRESENTATIVE FROM THE FIRE DEPARTMENT WILL BE REQUIRED TO WITNESS ALL FLOW TESTS. RESULTS OF THE FLOW TEST SHALL BE DOCUMENTED BY THE INSTALLING CONTRACTOR AND FORWARDED TO THE CITY OF DANIA BEACH FIRE AND ENGINEERING DEPARTMENTS.

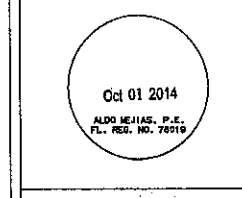
NOTE 3: THE CONTRACTOR IS RESPONSIBLE FOR COLOR CODING OF FIRE HYDRANTS. FIRE HYDRANTS SHALL BE COLOR CODED AS SOON AS POSSIBLE AFTER ACCEPTANCE BY THE CITY OF DANIA BEACH ENGINEERING AND FIRE DEPARTMENTS.

3. A SUITABLE LOCATION AT THE SITE SHALL BE DESIGNATED AS A COMMAND POST AND PROVIDED WITH PLANS, EMERGENCY INFORMATION, KEYS, COMMUNICATION, AND EQUIPMENT, AS NEEDED. THE PERSON IN CHARGE OF FIRE PROTECTION SHALL RESPOND TO THE LOCATION COMMAND POST WHENEVER FIRE OCCURS. (NFPA 241 2004 EDITION SECTIONS 7.5.2 & 7.5.3)

4. THERE SHALL BE READILY AVAILABLE PUBLIC FIRE ALARM BOX NEAR THE PREMISES, TELEPHONE SERVICE TO THE RESPONDING FIRE DEPARTMENT, OR EQUIVALENT FACILITIES. INSTRUCTIONS SHALL BE ISSUED TO NOTIFY THE FIRE DEPARTMENT IMMEDIATELY IN CASE OF FIRE WHEN TELEPHONE SERVICE IS EMPLOYED. THE LOCAL FIRE DEPARTMENT NUMBER AND SITE ADDRESS SHALL BE CONSPICUOUSLY POSTED NEAR EACH TELEPHONE. (NFPA 241 2004 EDITION SECTIONS 7.4.1 & 7.4.2)

5. THE REQUIRED WIDTH OF ACCESS ROADWAYS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING PARKING OF VEHICLES. NO PARKING SIGNS OR OTHER APPROPRIATE NOTICE, OR BOTH, PROHIBITING OBSTRUCTION SHALL BE PERMITTED TO BE REQUIRED AND SHALL BE MAINTAINED. (NFPA 241 2004 EDITION SECTIONS 7.5.5.3)

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SITE PLAN SUBMITTAL 12.02.09

REVISIONS:

Table with 2 columns: No., Description. Empty rows.

PROJECT NAME:
SAN SOUCI
HOTEL PROJECT
DANIA BEACH, FLORIDA

PROJECT ADDRESS:
48 EAST DANIA BEACH BOULEVARD
DANIA BEACH, FLORIDA 33117

COMM. NO.
SCALE: N.T.S.
DATE: DEC. 2009
DRAWN: MS
CHECKED:
CADD FILE: 3198fpdd.dwg

DRAWING TITLE:
FIRE PROTECTION
DETAILS